

Title	Planning Applications
To:	Planning Control Committee
On:	26 July 2016
By:	Development Manager
Status:	For Publication

Executive Summary

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

This report has the following implications

Township Forum/ Ward: Identified in each case.

Policy: Identified in each case.

Resources: Not generally applicable.

Equality Act 2010: All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:
The elimination of discrimination, harassment and victimisation;
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

Human Rights: All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

Development Manager

Background Documents

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

01	Township Forum - Ward: Bury West - Church	App No. 59398
	Location: Land adjacent to Church Mews, Deardens Street, Bury, BL8 2PB	
	Proposal: Erection of 5 no. dwellings	
	Recommendation: Approve with Conditions	Site Visit: N
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02	Township Forum - Ward: Ramsbottom and Tottington - Ramsbottom	App No. 59715
	Location: Redisher Works, Holcombe Old Road, Ramsbottom, Bury, BL8 4NQ	
	Proposal: Demolition of existing buildings and erection of 22 no. dwellings including works to culverted watercourse	
	Recommendation: Minded to Approve	Site Visit: N
<hr/>		
03	Township Forum - Ward: Radcliffe - East	App No. 59983
	Location: 17-21 Bury Street, Radcliffe, Manchester, M26 2GB	
	Proposal: Conversion to form 4 no. shop units and 3 no. flats together with new shop fronts	
	Recommendation: Approve with Conditions	Site Visit: N
<hr/>		
04	Township Forum - Ward: Radcliffe - North	App No. 59997
	Location: Garage site at land between 18 & 24 Bradley Fold Road, Ainsworth, Bolton, BL2 5QD	
	Proposal: Outline - 1 no. detached dwelling with details of access, layout and scale	
	Recommendation: Approve with Conditions	Site Visit: Y
<hr/>		
05	Township Forum - Ward: Prestwich - Sedgley	App No. 60004
	Location: Masjid - E - Bilal, 52 Bury Old Road, Prestwich, Manchester, M25 0ER	
	Proposal: Temporary Siting (for 3 years) of 1 no. Portacabin for use as a Classroom and Alterations to Car Park Layout	
	Recommendation: Approve with Conditions	Site Visit: Y
<hr/>		
06	Township Forum - Ward: Ramsbottom and Tottington - Ramsbottom	App No. 60021
	Location: Dry Gap Farm, Bury Old Road, Shuttleworth, Ramsbottom, Bury, BL0 0RX	
	Proposal: Change of use of existing domestic stables to use as equestrian centre for able bodied people and individuals with autism and similar disabilities and creation of 3 no. new parking spaces	
	Recommendation: Approve with Conditions	Site Visit: N

07 **Township Forum - Ward:** Whitefield + Unsworth - Besses **App No.** 60171

Location: 4 Moss Lane, Whitefield, Manchester, M45 6HG

Proposal: Two storey extension for office and storage

Recommendation: Approve with Conditions

Site Visit: N

08 **Township Forum - Ward:** Whitefield + Unsworth - Besses **App No.** 60173

Location: Unit 1, Block 5, Albert Close, Whitefield, Manchester, M45 8EH

Proposal: First floor office extension

Recommendation: Approve with Conditions

Site Visit: N

09 **Township Forum - Ward:** Radcliffe - North **App No.** 60206

Location: Radcliffe Borough Associated Football Club, Colshaw Close East,
Radcliffe, Manchester, M26 3PE

Proposal: Erection of clad steel framed structure over east terrace (lower goal)

Recommendation: Approve with Conditions

Site Visit: N

Ward: Bury West - Church

Item 01

Applicant: Lancashire Mortgage Corporation

Location: Land adjacent to Church Mews, Deardens Street, Bury, BL8 2PB

Proposal: Erection of 5 no. dwellings

Application Ref: 59398/Full

Target Date: 07/01/2016

Recommendation: Approve with Conditions

Description

The site comprises hardstanding and is bounded by 2.4 metre high paladin fencing. The site was included in a previous consent for outline planning approval for residential development in 2004 and gained consent for a development of apartments in 2006. Vehicular access is taken from Deardens Street and there is a pedestrian footpath, which links Deardens Street to Deardens Fold.

The site is bounded by residential properties to the north, east and west. There is open land to the south.

The proposed development involves the erection of 5 dwellings in a terrace. The proposed dwellings would be located at right angles to Deardens Street and would be two and three storeys in height. The proposed dwellings would be constructed from brick with a tile roof. Access to the site would be taken from Deardens Street.

Relevant Planning History

41679 - Residential development (outline) at land at Deardens Street/Proctor Street, Bury. Approved with conditions - 15 January 2004.

44208 - Residential development - 9 no. apartments (three storey) with associated parking at land at Deardens Street, Bury. Refused - 27 April 2005

46004 - Erection of 3 no. apartments at land at Deardens Street, Bury. Approved with conditions - 21 April 2006.

Publicity

The neighbouring properties were notified by means of a letter on 13 November 2016.

3 letters have been received from the occupiers of 1, 10, 28 Deardens Street, which have raised the following issues:

- Fear the development would have an irreversible impact on the local flora and fauna, which include owls and other species of song birds.
- Concerned the proposal would block views from my property of the woodland and valley.
- Would like to know when this will be taking place. The cul-de-sac is a quiet place and lovely environment and hope that this will not be spoilt.
- Concerned about street parking. Residents from Bolton Road already park on the street.
- Acknowledge that something must be done with the land as it attracts fly tipping.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections in principle. Further comments to be reported in the Supplementary Report.

Drainage Section - No response. Comments to be reported in the Supplementary Report.

Environmental Health Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Waste Management - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul and surface water drainage.

Canal & River Trust - No objections, subject to the inclusion of conditions relating to the feeder pipe and permitted development rights.

Unitary Development Plan and Policies

H1/1	Housing Land Allocations
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
HT4	New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The proposed development would be located within the urban area and there is residential development to the north, east and west. As such, the proposed development would not conflict with the surrounding land uses. The site has good access to public transport and as

such, the site is located in a sustainable location. The site consists of hardstanding and is previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy HT1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development would include 4 three storey dwellings and 1 two storey dwelling. The surrounding dwellings are a mix of two, two and a half and three storey dwellings and as such, the proposed development would be appropriate in terms of height and scale. The proposed dwellings would be constructed from red brick with a tile roof, which would be appropriate and would match the existing dwellings. The use of pike details, canopies and juliet balconies would add visual interest to the elevations. As such, the proposed dwellings would not be a prominent feature in the locality.

All of the proposed dwellings would have a side or rear garden, which would provide a suitable level of private amenity space. There would be space within the rear gardens for bin storage. As such, the proposed development would not be a prominent feature in the streetscene. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall. If there is an additional storey in height, a further 3 metres should be added to the aspect standard.

There would be 16 metres between the front elevation of the proposed dwellings and the existing apartments to the north. The windows in the gable of the adjacent block of apartments relate to a kitchen and bathroom, which are not habitable rooms. As such, a distance of 16 metres would comply with the aspect standard in SPD6.

There would be 19.3 metres between the gable elevation of plot 1 and the properties on Dearden Street. As plot 1 is a two storey dwelling, the aspect standard would be acceptable. There would be over 40 metres from the site boundary to the properties on Deardens Fold, which would be in excess of the aspect standards.

Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties.

Highways issues - The site would be accessed from Deardens Street and there would be sufficient visibility splays available. A revised plan has been submitted, which contains details of a footpath, which would connect the westerly and southerly sides of the existing turning head. The Traffic Section has no objections in principle and further comments will be reported in the Supplementary Report.

Parking - SPD11 states that the maximum number of parking spaces is 1.5 spaces per 2 bed dwelling, 2 spaces per 3 bed dwelling and 3 spaces per 4 bed dwelling. This equates to 11 parking spaces.

The proposed development would provide 5 parking spaces and 4 parking spaces in the form of integral garages, which equates to 9 spaces. The site has good access to public transport and as such, the level of parking provision in this instance would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Response to objectors

The issue relating to loss of view is not a material planning consideration and cannot be

taken into consideration. The remaining issues are discussed in the main report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1503-01 001, 1503-01 002, 1503-01 003 A, 1503-01 005, 1503-01 006, 1503-01 010, 1503-01 011, 1503-01 020, 1503-01 021, 1503-01 SK01 A, 1503-01 SK01 - constraints plan and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and

A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. A landscaping scheme shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.

Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.

7. No development shall commence unless or until details of a scheme for the disposal of foul and surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDs options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of the proposed maintenance arrangements must be provided. Only the approved scheme shall be implemented prior to occupation of the dwellings hereby approved.

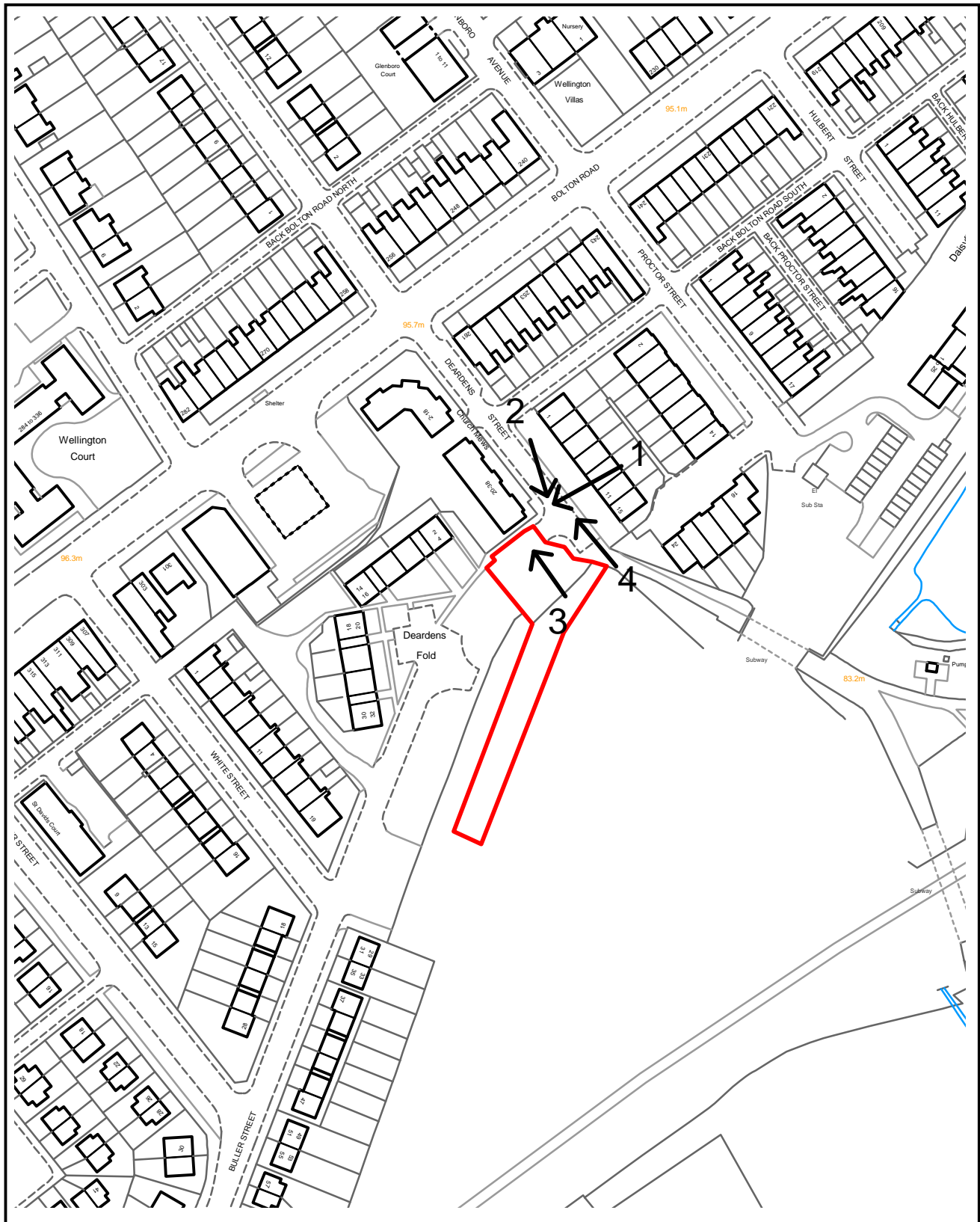
Reason. No details of the drainage have been submitted and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

8. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.

Reason. To enable the Local Planning Authority to assess the impact of such proposals on the stability of the canal feeder pipe minimising the risk of creating land instability arising from any adverse impacts from foundation construction, earthmoving, excavations or other construction works associated with such development, in accordance with the advice and guidance on land stability contained in paragraphs 120-121 of the National Planning Policy Framework 2012 and in the National Planning Practice Guidance

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59398

ADDRESS: Land Adjacent to Church Mews
Deardens Street

Bury
Planning, Environmental and Regulatory Services



Bury
COUNCIL

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59398

Photo 1



Photo 2

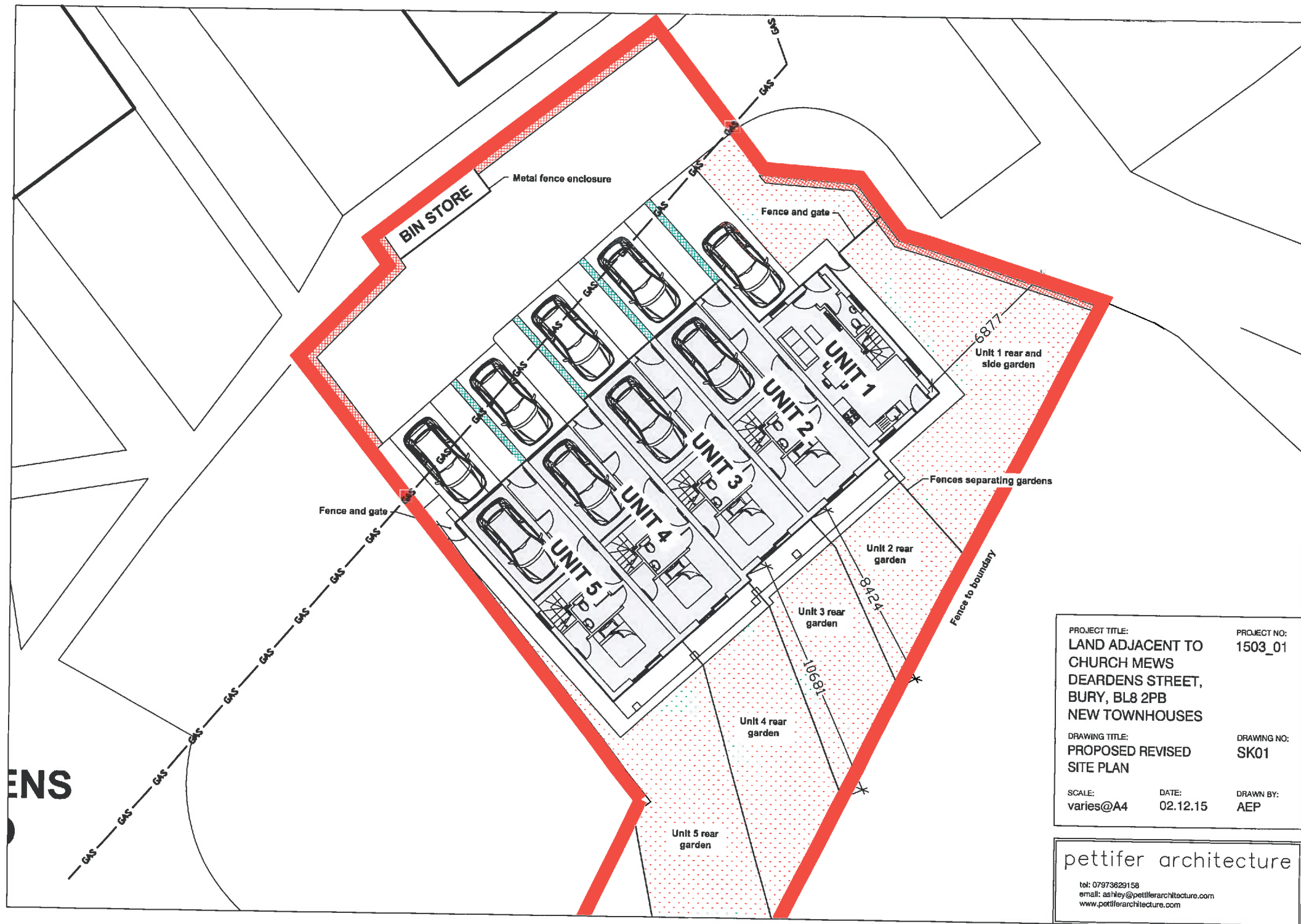


Photo 3



Photo 4





PROJECT TITLE:
**LAND ADJACENT TO
CHURCH MEWS
DEARDENS STREET,
BURY, BL8 2PB
NEW TOWNHOUSES**

PROJECT NO:
1503_01

DRAWING TITLE:
**PROPOSED REVISED
SITE PLAN**

DRAWING NO:
SK01

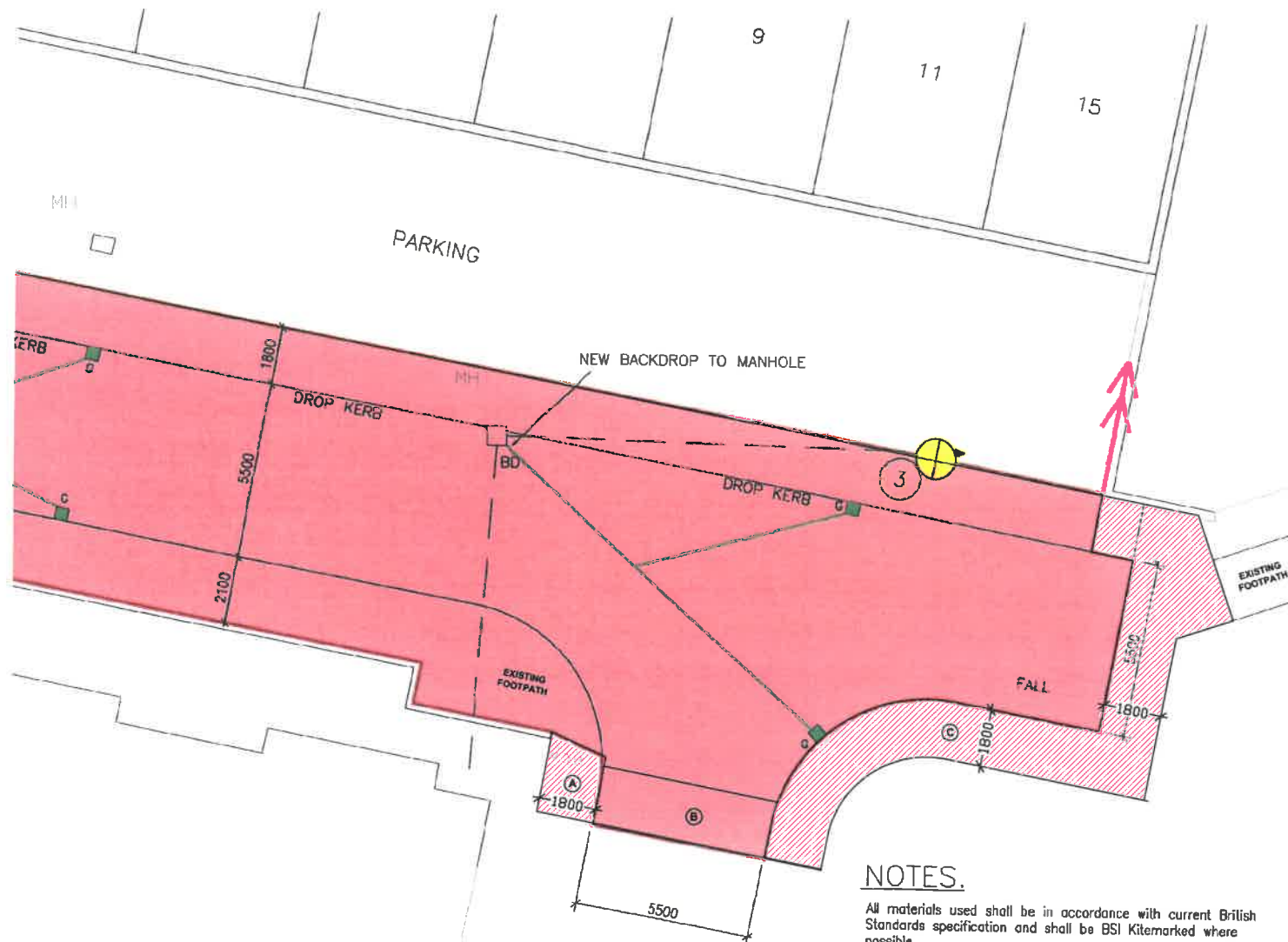
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varies@A4

DATE:
02.12.15

DRAWN BY:
AEP

pettifer architecture

tel: 07973629158
email: ashley@pettiferarchitecture.com
www.pettiferarchitecture.com



KEY:

- (A) paving connection to Deardens Street heading west
- (B) crossing over road into site
- (C) paving connection to footpath heading east
- new adopted footpath

NOTES.

All materials used shall be in accordance with current British Standards specification and shall be BSI Kitemarked where possible.

Carriageway and footway wearing courses shall be 'excluding limestone' aggregate.

Soft spots below formation and unsatisfactory sub-grade materials shall be excavated and replaced with selected filling type 1 to formation level.

All macadam to B.S. 4987

Highway specification to be in accordance with the DOT

PROJECT TITLE:
LAND ADJACENT TO
CHURCH MEWS
DEARDENS STREET,
BURY, BL8 2PB
NEW TOWNHOUSES

PROJECT NO:
1503_01

REVISION:
A

DRAWING TITLE:
ADOPTED HIGHWAY -
PAVED AREA TO
TURNING CIRCLE

DRAWING NO:
SK01

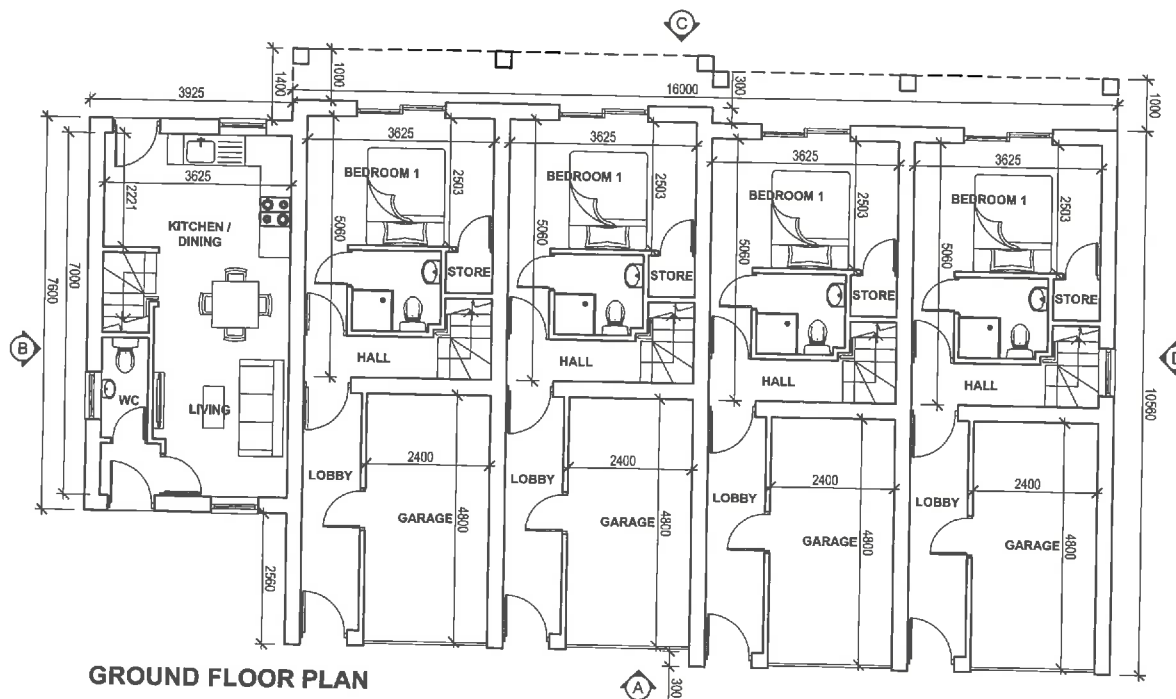
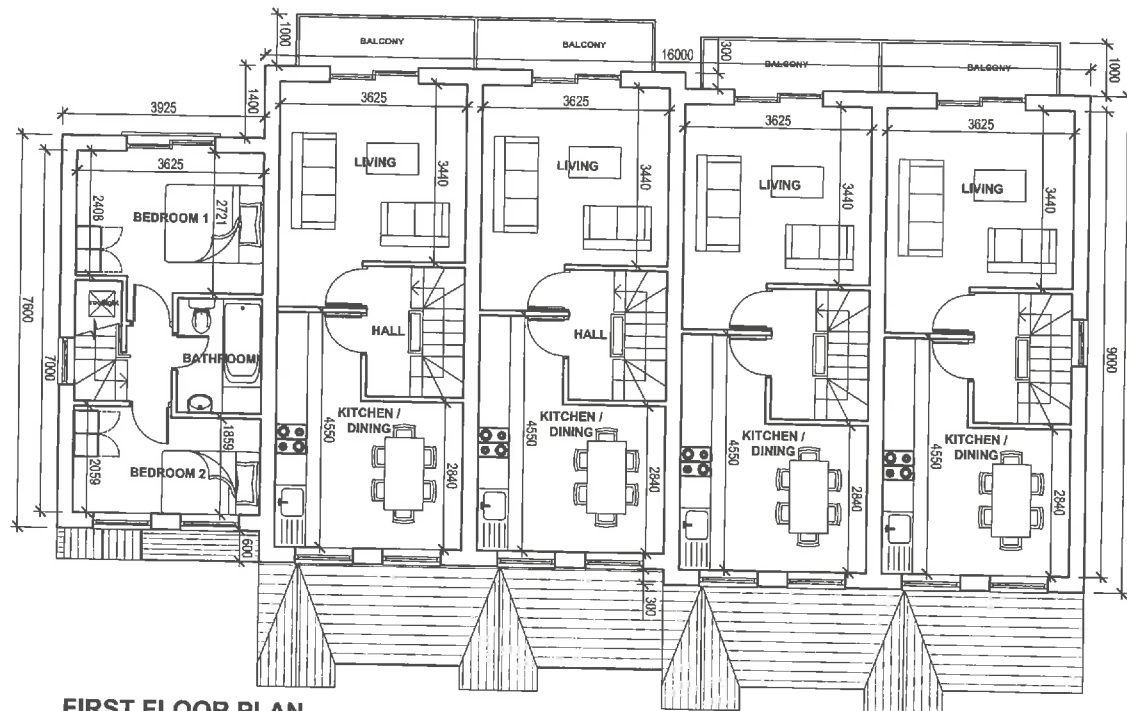
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varies@A4

DATE:
02.12.15

DRAWN BY:
AEP

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email: ashley@pettiferarchitecture.com
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Do not scale drawings. All dimensions to be varied on site before proceeding with the work. All dimensions given in millimetres unless stated otherwise. All drawings to be read in conjunction with other consultants drawings and specifications.

revision

drawn date

PLANNING

PROJECT TITLE:
LAND ADJACENT TO
CHURCH MEWS
DEARDENS STREET,
BURY, BL8 2PB
NEW TOWNHOUSES

PROJECT NO:
1503_01

DRAWING TITLE:
GA PLANS
GROUND & FIRST FLOOR

DRAWING NO:
010

SCALE:
1:100@A3

DATE:
13.03.15

DRAWN BY:
AEP

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revision	drawn	date
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1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26



PROJECT TITLE:
LAND ADJACENT TO
CHURCH MEWS
DEARDENS STREET,
BURY, BL8 2PB
NEW TOWNHOUSES

DRAWING TITLE:
GA PLANS
SECOND FLOOR

SCALE:
1:100@A3

DATE:
13.03.15

PROJECT NO:
1503_01

DRAWING NO:
011

DRAWN BY:
AEP

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Do not scale drawings. All dimensions to be varied on site before proceeding with the work. All dimensions given in millimetres unless stated otherwise. All drawings to be read in conjunction with other consultants drawings and specifications.

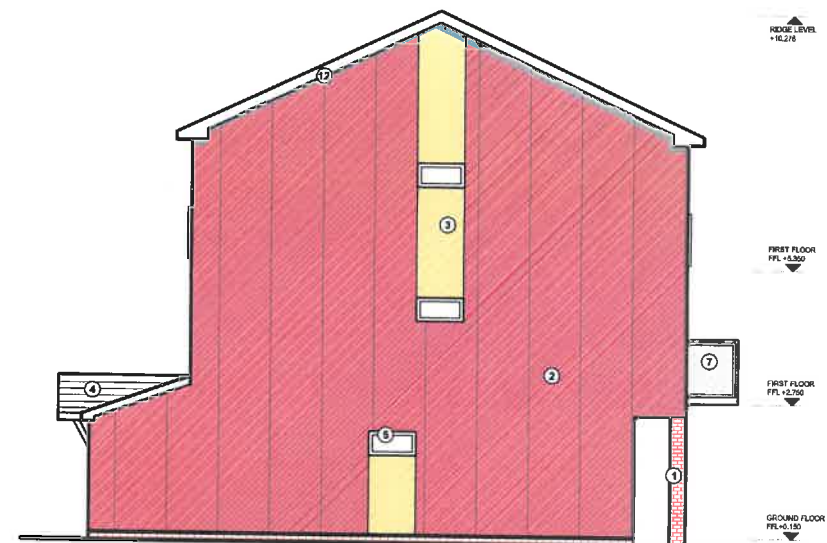
revision drawn date



ELEVATION A

KEY:

- ① Brick - orange colour
- ② Cladding - Red Brown / RAL 8012
- ③ Cladding- Sunflower Yellow / BS 10E55
- ④ Roof - Marley modern dark grey tiles
- ⑤ Windows - double glazed, dark grey frame
- ⑥ Juliet balcony - steel
- ⑦ Balcony - steel with glazed panels
- ⑧ Door - dark grey composite u-pvc
- ⑨ Sliding glazed doors - double glazed, dark grey frame
- ⑩ Rooflight - double glazed, dark grey frame
- ⑪ Garage door - dark grey
- ⑫ Bargeboards and fascias - black u-pvc



ELEVATION D

PLANNING

PROJECT TITLE:
LAND ADJACENT TO
CHURCH MEWS
DEARDENS STREET,
BURY, BL8 2PB
NEW TOWNHOUSES

PROJECT NO:
1503_01

DRAWING TITLE:
ELEVATIONS
(1 of 2)

DRAWING NO:
020

SCALE:
1:100@A3

DATE:
13.03.15

DRAWN BY:
AEP

pettifer architecture

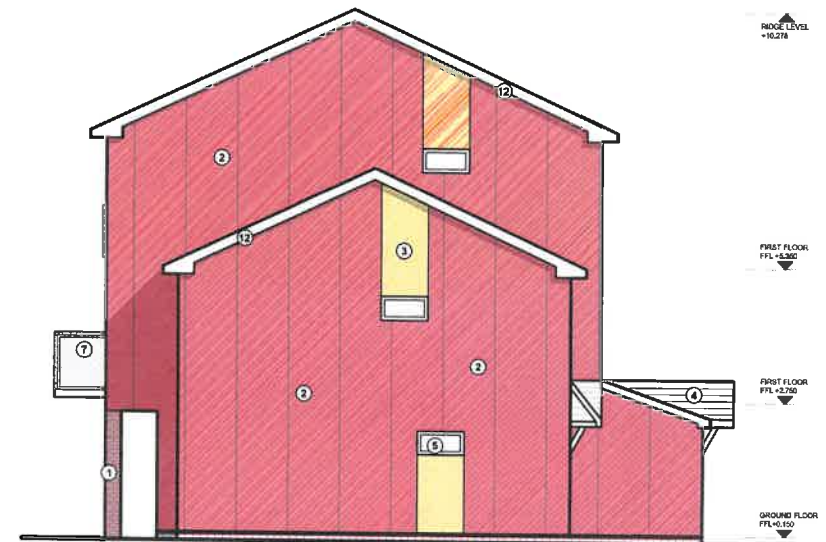
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Do not scale drawings. All dimensions to be verified on site before proceeding with the work. All dimensions given in millimetres unless stated otherwise. All drawings to be read in conjunction with other consultants drawings and specifications.

revision drawn date



ELEVATION C



ELEVATION B

KEY:

- ① Brick - orange colour
- ② Cladding - Red Brown / RAL 8012
- ③ Cladding- Sunflower Yellow / BS 10E55
- ④ Roof - Marley modern dark grey tiles
- ⑤ Windows - double glazed, dark grey frame
- ⑥ Juliet balcony - steel
- ⑦ Balcony - steel with glazed panels
- ⑧ Door - dark grey composite u-pvc
- ⑨ Sliding glazed doors - double glazed, dark grey frame
- ⑩ Rooflight - double glazed, dark grey frame
- ⑪ Garage door - dark grey
- ⑫ Bargeboards and fascias - black u-pvc

PLANNING

PROJECT TITLE: LAND ADJACENT TO CHURCH MEWS DEARDENS STREET, BURY, BL8 2PB NEW TOWNHOUSES	PROJECT NO: 1503_01
DRAWING TITLE: ELEVATIONS (2 of 2)	DRAWING NO: 021
SCALE: 1:100@A3	DATE: 13.03.15
	DRAWN BY: AEP

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Ward: Ramsbottom and Tottington -
Ramsbottom

Item 02

Applicant: Morris Homes Ltd

Location: Redisher Works, Holcombe Old Road, Ramsbottom, Bury, BL8 4NQ

Proposal: Demolition of existing buildings and erection of 22 no. dwellings including works to culverted watercourse

Application Ref: 59715/Full

Target Date: 20/05/2016

Recommendation: Minded to Approve

It is recommended that this application is Minded to Approve subject to the signing and completion of a Section 106 agreement for recreation provision in accordance with Policy RT2/2 of the adopted Unitary Development Plan and SPD1. If the agreement is not signed within a reasonable timeframe, then delegated authority is sought by the Development Manager to determine the application.

A site visit was undertaken on 28 June 2016, as requested by the Development Manager

Description

The application site is located within the Green Belt and the Holcombe Conservation Area. The site contains existing portal industrial buildings, which were last used for vehicle exhaust manufacturing (B2 use) and have been vacant since 2003. The floorspace of the buildings is 5,230 square metres.

The site is predominantly flat with steep sloping sides. There are mature trees to all boundaries, many of which are protected by a Tree Preservation Order (TPO). The buildings and a large area of hardstanding is located on the flat area and the site is accessed from Holcombe Old Road. This access is shared with existing residential properties.

There are open fields to the north and south and there are residential properties to the south east with the Hare and Hounds pub beyond. Redisher woods is located to the north and northwest of the site. There is a public footpath to the south west of the site, which connects to Park Road and a bridleway, which passes across the access to the site.

The proposed development involves the demolition of the existing industrial buildings and the erection of 22 dwellings. The proposed dwellings would be detached and would be two storeys or two and a half storeys in height. The proposed dwellings would be constructed from red and buff brick with a tile roof. The proposed development would be accessed from Holcombe Old Road. As part of the proposal, a section of the Holcombe Brook would be de-culverted and opened up.

Relevant Planning History

41597 - Outline - demolition of existing industrial buildings and erection of 49 residential units including improvements to highway at Redisher Works, Holcombe Old Road, Holcombe Brook. Refused - 21 January 2004.

43327 - Demolition of existing premises and regeneration for mixed residential/employment scheme, including highway improvements, new footpath links and river restoration (Approx 45 dwellings) at Redisher Works, Holcombe Old Road, Holcombe Brook. Refused - 10

November 2004

No case for very special circumstances was provided, detrimental to highway safety and insufficient information in relation to emergency access was provided.

Publicity

The neighbouring properties were notified by means of a letter on 19 February and a press notice was published in the Bury Times on 25 February 2016. Site notices were posted on 26 February 2016.

1 letter of support have been received from the occupiers of 9 Butler Street, which have raised the following issues:

- I hope that the application goes ahead as the site has been unused for years and after being partially damaged by fire, is a blot on the landscape.
- The path used to access Redisher Woods is used frequently and should be recognised as a Public path for future use.

9 letters have been received from the occupiers of 402A Bolton Road West, Dawes Bank Farm (300) Bolton Road West, Lumb Carr House, 202, 204 Lumb Carr Road, Hare & Hounds, 400 Bolton Road West, 402 - 404, 402A Bolton Road West, and the Holcombe Society, which have raised the following issues:

- Strongly object as the junction at Holcombe Old Road is already extremely dangerous.
- The speed of traffic on the roads that join it is frightening and a lot of the traffic does not even indicate. My daughter and I have almost been run over crossing the road and more traffic and residents will make the junction more congested and lethal.
- It is only a matter of time until there is a fatality.
- The road system in this area cannot cope with an increase in traffic.
- There is an existing problem with cars using the bottom half of Holcombe Old Road as a cut through, turning onto Branch Road and driving down the cobbles lane when traffic backs up on Lumb Carr Road.
- It will cause problems when cars are trying to exit the proposed development and will encourage cars to use Holcombe Old Road.
- Holcombe Old Road is a narrow cobbled bridleway used by horseriders and walkers. If this proposal is passed, the extra cars will be a danger to the users.
- With a proposal of 22 dwellings, there will be a minimum of 44 extra vehicles and some of these will use Holcombe Old Road as a cut through.
- Holcombe Old Road is "access only" to residents of properties on the lane.
- The site lies within the Holcombe Conservation Area. The site is a derelict vacant industrial facility that detracts from the Conservation Area and does need improvement. The Society supports the principle of redevelopment.
- The proposal for residential use appears appropriate, but would request a greater mix of units, including 2-3 bed housing to improve affordability and meet housing need.
- Given its situation within a river valley, the impact on 'open-ness' within the Green Belt is considered to be limited, and the beneficial prospect of regenerating the dilapidated current site outweighs in our opinion any perceived damage to Green Belt. The LPA would need to be very clear in the wording of any planning approval however as to what the 'Exceptional Circumstances' were, in order to avoid setting an unruly local precedent for inappropriate development in the Green Belt.
- Having lain derelict, the redevelopment of Redisher Works is long overdue and will remove a blight on an otherwise beautiful area. Support the redevelopment in principle.
- Concern in relation to traffic flows and junction design as there is a need to re-design the area of Lumb Carr Road/Bolton Road/Holcombe Old Road junction.
- While the number of movements will be lower from a residential development, the proximity of the pub car park and walkers may cause an issue at peak times.
- Parking restrictions should be provided on Holcombe Old Road and on Lumb Carr Road.
- Consideration should be given to amending the geometry of the junction of Bolton Road into Lumb Carr Road. Traffic can navigate it at speed and accelerate quickly up the hill, which will be a major hazard to vehicles using Holcombe Old Road. Consideration

- should be given to putting a 30mph speed limit on Lumb Carr Road.
- Like to see the double yellow lines extended on Lumb Carr Road.
- Concerned about safety of guests as vehicles use the car park as a cut through, to avoid the traffic lights.

Letters notifying the supporter, objectors and neighbouring properties of revised plans were sent on 26 May 2016 and 8 July 2016.

The supporter and objectors have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of conditions relating to access improvements, a construction management plan, measures to prevent mud from passing onto the highway, visibility splays, turning facilities and driveway lengths.

Drainage Section - No objections, subject to the inclusion of conditions relating to surface water drainage and SuDS options.

Environmental Health Contaminated Land - No objections, subject to the inclusion of conditions relating to contaminated land.

Environmental Health - Air Quality - No comments.

Public Rights of Way Officer - No objections.

Waste Management - No objections received.

GM Ecology Unit - Assessing emergence survey of the culvert. Agree with recommendation for conditions relating to precautionary measures and an external lighting strategy.

No objections, subject to conditions relating to method statement to protect the Holcombe Brook from spillages, Himalayan Balsam and landscaping plan.

Environment Agency - Assessing revised Flood Risk Assessment. No objections, subject to the inclusion of conditions relating to contaminated land and controlled waters.

Design for security - No objections.

National Grid - No objections.

United Utilities - No objections, subject to the inclusion of conditions relating to foul water, surface water drainage and SuDS and informatives.

The Coal Authority - No objections, subject to an informative relating to coal mining.

GM Fire Service - No objections received.

Unitary Development Plan and Policies

EC2/2	Employment Land and Premises
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2/1	Character of Conservation Areas
EN2/2	Conservation Area Control
EN5/1	New Development and Flood Risk
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/5	Waste Water Management
EN8/1	Tree Preservation Orders
EN8/2	Woodland and Tree Planting
EN9/1	Special Landscape Areas
OL1/2	New Buildings in the Green Belt
RT2/2	Recreation Provision in New Housing Development
RT3/4	Recreational Routes
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict

SPD1	Open Space, Sport and Recreation Provision
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle (Employment) - The site was last used as an employment site and, as such, the principle of any proposed development needs to be assessed against UDP Policy EC2/2.

Under Policy EC2/2, the Council will seek to retain the employment use of such sites unless it can be clearly demonstrated that the land and premises are no longer suited, in land use terms, to continued employment use.

The Council produced a development brief in 2009 for the site, which concluded that the site was no longer suitable for modern day employment uses. The Employment Land Review was undertaken in 2013 and concluded that the site performed so poorly, it was 'inappropriate in land use terms for employment use'. As such, the site should not be retained for employment use as there is no realistic prospect of the site coming forward for such a use. Therefore, the proposed development would not conflict with Policy EC2/2 of the Bury Unitary Development Plan and would be in accordance with the NPPF.

Principle (Green Belt) - Paragraph 89 of the NPPF states that the construction of new buildings within the Green Belt should be regarded as inappropriate development unless it meets one of the following exceptions;

- buildings for agriculture and forestry;
- provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- limited infilling in villages, and limited affordable housing for local community needs under policies set out in the Local Plan; or limited infilling or the partial or complete redevelopment of previously developed sites (brownfield land), whether redundant or in continuing use (excluding temporary buildings), which would not have a greater impact on the openness of the Green Belt and the purpose of including land within it than the existing development.

Policy OL1/2 states that the construction of new buildings within the Green Belt will be inappropriate development unless it is for agriculture, forestry, essential facilities for outdoor recreation, limited extensions of existing dwellings and for other uses of land which do not conflict with the purposes of including land in it. Proposals for buildings, which do not fall into one of the above categories are inappropriate development and will only be permitted in special circumstances.

The application site contains industrial buildings and a large hardstanding and as such, is previously developed land. As such, the proposed development involves the erection of 22 dwellings on land that is previously developed.

The floorspace of the existing industrial buildings is 5,230 square metres and the floorspace of the proposed development is 2,017 square metres. The proposed development would represent a reduction of 61% in terms of floorspace. The proposed dwellings would be lower in height than the existing industrial buildings and there would be a break between the individual dwellings.

The reduction in the floorspace of the built development represents an improvement to the openness of the Green Belt, especially when combined with the reduction in the height of the proposed dwellings and the breaks in the built form between the proposed individual dwellings. In addition, there would be a reduction in the amount of hardstanding. Therefore, it is considered that the proposed development would have a positive impact upon the openness of the Green Belt.

Therefore, the proposed development would represent the redevelopment of a previously developed site, which would not have a greater impact upon the openness of the Green Belt and would be appropriate development. Therefore, the proposed development would not conflict with Policy OL1/2 of the Bury Unitary Development Plan and would be in accordance with paragraph 89 of the NPPF.

Principle (Residential) - Following revocation of the North West Regional Strategy on 20 May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable housing land.

Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

The proposed development is located within walking distance of the urban area and there is residential development to the south/south east. As such, the proposed development would not conflict with the surrounding land uses. The site is within walking distance of public transport and as such, is in a sustainable location. The site contains industrial buildings and an area of hardstanding and is previously developed land. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy H1/2 of the Bury Unitary Development Plan and the NPPF.

Design and layout - The proposed development would include detached dwellings, which would be a mix of two and two and a half storeys in height. The proposed dwellings would be constructed from red brick with a slate roof, which would be appropriate and would preserve the character of the Conservation Area. The use of headers, stone cills, bay windows, pike details, canopies, small dormers and chimneys would add visual interest to the elevations. As such, the proposed dwellings would not be a prominent feature in the locality.

All of the proposed dwellings would have a side or rear garden, which would provide a suitable level of private amenity space. There would be space within the rear gardens for bin storage and the proposed boundary treatments of timber fencing, railings and brick walls would be acceptable. As such, the proposed development would preserve the character of the conservation area and would not be a prominent feature in the streetscene. Therefore, the proposed development would be in accordance with Policies EN1/2, H2/1, H2/2, EN2/1 EN2/2 and OL1/2 of the Bury Unitary Development Plan.

Impact upon the Conservation Area - The application site is located within the Holcombe Conservation Area.

The national legislative framework for development affecting listed buildings and conservation areas is provided by the Planning (Listed Buildings and Conservation Areas) Act 1990. This sets out the duty on local planning authorities with regard to listed buildings and any buildings or land within a conservation area, when determining applications for planning permission. It is essential that these legal duties are considered, alongside the contents of the NPPF and other planning policies and guidance.

The Town and Country Planning (Listed Building and Conservation Area) Act 1990 imposes a duty under Section 72 on Local Planning Authorities to pay 'special attention to the desirability of preserving or enhancing the character or appearance of that area' (section 72(1))

Paragraph 131 of the NPPF states that when determining planning applications, Local Planning Authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make sustainable communities including their economic vitality;
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 133 of the NPPF states that where a proposed development would lead to substantial harm or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- conservation by grant funding or some form of charitable or public ownership is demonstrably not possible; and
- the harm or loss is outweighed by the benefit of bringing the site back into use.

The disused works buildings are constructed from profiled metal sheeting and do not contribute to the historical or architectural importance of the Conservation area or its setting. The study site is located in the valley bottom and is enclosed by the steeply sloping valley sides. As such, there are no significant outward views into or from the conservation area and the application site. Given the above, the impact of the proposed development on the setting of the conservation area is negligible and would cause negligible levels of harm to its significance. As the existing buildings contribute little to the appearance of the Conservation area, it is considered that the demolition of these buildings would enhance the character of the Conservation Area.

There is a moderate potential for 19th and 20th century industrial structures, which may be of regional significance but there is a nil potential of evidence of prehistoric, Roman, Medieval periods as industrial development of the site is likely to have removed any archaeological evidence. There are no objections to the proposed development, subject to the inclusion of a condition relating to archaeology.

The proposed development would bring the site back into use and the design of the dwellings would respect the conservation area. The proposed materials and boundary treatments would be appropriate within the Conservation Area. Therefore, the proposed development would preserve the character of the Conservation Area and would be in accordance with Policies EN1/1, EN1/2, EN2/1 and EN2/2 of the Bury Unitary Development Plan and the NPPF.

Impact upon residential amenity - SPD6 provides guidance on aspect standards between residential properties and as such, would be relevant in this case. The aspect standards states that there should be a minimum of 20 metres between directly facing habitable windows and 13 metres between a habitable room window and a two storey blank wall.

There would be 21 metres and 28 metres between the proposed development and Redisher Croft and Holcombe Old Road respectively. These distances would exceed the aspect standards and would be acceptable.

The remaining relationships would comply with the relevant aspect standards. Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Trees - The trees surrounding the site are protected by Tree preservation Orders (TPO) and a arboricultural assessment was submitted with the application. 5 groups of trees would need to be removed to facilitate the development. All of these trees are classed as unsuitable for retention and are of low quality. The proposed development includes the planting of 99 trees within the development site. Given that the trees are of low quality and the number of trees being planted as part of the proposed landscaping works and the retention of the trees on the perimeter of the site, it is considered that the proposed development would preserve the character of the locality and conservation area. Therefore, the proposed development would be in accordance with Policies EN8/2, EN1/1, EN1/2 and EN1/3 of the Bury Unitary Development Plan.

Ecology - A phase 1 habitat survey and bat survey has been undertaken and submitted with application. The buildings and trees were assessed for bat roosting potential and the majority of the buildings were assessed as having negligible bat roosting potential. However, one building was assessed as having negligible to low roosting potential and another as low to moderate risk.

An emergence survey was undertaken and no evidence of bats was found in the buildings or the retaining wall. However, high levels of bat activity were recorded on site. The survey recommended conditions relating to the precautionary measures for bats and an external lighting strategy and GMEU agrees with the recommendations.

An emergence survey on the culvert has been undertaken and will be submitted shortly. Further comments on this will be reported in the Supplementary Report.

The proposed development includes the de-culverting of the Holcombe Brook and associated landscaping. These works would be positive in terms of the North West river basin management plan, the water frameworks directive and would enhance the Holcombe Brook wildlife corridor. Notwithstanding the emergence bat survey, GM Ecology Unit has no objections, subject to the inclusion of conditions relating to method statement to protect the Holcombe Brook from spillages, Himalayan Balsam and landscaping plan. Therefore, the proposed development would not cause harm to a protected species (notwithstanding the bat survey) and would be in accordance with Policies EN6 and EN6/3 of the Bury Unitary Development Plan and the NPPF.

Flood risk/drainage - A revised Flood Risk Assessment has been received and is being assessed by the Environment Agency. Further comments will be reported in the Supplementary Report.

Public right of way - There is an existing public right of way to the south east of the site, which would be unaffected by the proposed development. There is a bridleway (No. 26) which currently crosses the proposed access (Holcombe Old Road). The proposed development would generate less traffic than the previous use and the proposed access improvements would slow the speed of the traffic in the vicinity of the bridleway. The Public

Rights of Way Officer has no objections to proposal. Therefore, the proposed development would be in accordance with Policy RT3/4 of the Bury Unitary Development Plan.

Highways issues - The existing access to the site is via Holcombe old Road, which was used by HGVs until the premises closed in 2003. The proposed development would utilise the same access and would generate less traffic than the previous use. The proposed development would provide improvements to the pedestrian access, whilst retaining the stone wall and would ensure forward visibility is retained. The Traffic Section has no objections, subject to the inclusion of conditions relating to access improvements, a construction management plan, measures to prevent mud from passing onto the highway, visibility splays, turning facilities and driveway lengths. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with Policies EN1/2, H2/1 and H2/2 of the Bury Unitary Development Plan.

Parking - SPD11 states that the maximum number of parking spaces is 3 spaces per 4 and 5 bed units. This equates to 66 parking spaces.

The proposed development would provide 52 parking spaces and 24 parking spaces in the form of integral or detached garages, which equates to 76 spaces. Whilst the proposed development would be over providing by 10 parking spaces, it is considered that given the location and the need to avoid on-street parking, that this is acceptable in this instance. Therefore, the proposed development would comply with Policy HT2/4 of the Bury Unitary Development Plan and SPD11.

Planning obligations - A contribution for recreation provision would be required of £64,261.88 in accordance with Policy RT2/2 of the Bury Unitary Development Plan and SPD1. This would be secured through a Section 106 agreement.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Mind to Approve

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered N257/P/LP01 #, N257/P/PL01 *, N257/P/HTALD/01, N257/P/HTALD/02, N257/P/HTAPP01, N257/P/HTAPP/02, N257/P/HTBRA/01, N257/P/HTBRA/02, N257/P/HTBRID/01, N257/P/HTBRID/02, N257/P/HTSEV/01, N257/P/HTSEV/02, N257/P/HTSTRA/01, N257/P/HTSTRA/02, N257/P/HTWILSA/01, N257/P/HTWILSA/02, N257/P/HTWIL/01, N257/P/HTWIL/02, F1-1, F1-2, F2-3, F3-4, J9A, 3963/300, 3963/301 A, M2672.01_B, MH.TO.23 - EXISTING DRAINAGE, MH.TO.23 - TOPOGRAPHICAL LAND SURVEY, BTC1026-TIP and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. No development shall commence unless and until:-

- A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
- Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
- Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

The Site Verification Report shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan. The long-term monitoring and maintenance plan shall be implemented as approved.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

6. Notwithstanding the details shown indicatively on approved plan reference PL01, no development shall commence unless and until full details of the following have been submitted to and approved in writing by the Local Planning Authority:

- Alterations at the interface between the unadopted site access and the adopted highway at Lumb Carr Road, including all necessary improvements to visibility and pedestrian facilities at this junction and the access to the adjacent public house;
- Improvements to the existing carriageway and pedestrian facilities on the southerly side of the route between the adopted highway and the development site, including all appropriate remedial works at the junction with Bridleway No. 26, Ramsbottom;
- Provision of the priority give-way arrangements proposed in the position indicated, including all necessary road markings and signage;
- A scheme of traffic calming measures on the site access/unadopted estate

road;

- Provision of a street lighting scheme for the proposed private residential development to include all necessary improvements to lighting levels on the adopted highway at the junction of the site access with Lumb Carr Road and at the interface with Bridleway No. 26, Ramsbottom/Holcombe Old Road;
- Swept path analysis of the proposed private estate roads to ensure a refuse collection vehicle can pass a private car and manoeuvre at the turning head.

The details subsequently approved shall be implemented in accordance with a programme to be agreed in writing with the Local Planning Authority.

Reason. No details have been provided and to ensure good highway design and maintain the integrity of the adopted highway, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

7. No development shall commence unless and until a 'Construction Traffic Management Plan' (CTMP), has been submitted to and approved in writing by the Local Planning Authority and shall confirm/provide the following:

- Access route for demolition/construction traffic from the highway network;
- Hours of operation and number of vehicle movements;
- Arrangements for the turning and manoeuvring of vehicles within the curtilage of the site;
- Parking on site or on land within the applicant's control of operatives' and demolition/construction vehicles together with storage on site of construction materials.

The approved plan shall be adhered to throughout the demolition and construction periods and the measures shall be retained and facilities used for the intended purpose for the duration of both periods. The areas identified shall not be used for any other purposes other than the turning/parking of vehicles and storage of construction materials.

Reason. No details have been provided and to mitigate the impact of the demolition/construction traffic generated by the proposed development on the adjacent residential streets and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period, in the interests of highway safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development

Policy H2/2 - The Layout of New Residential Development.

8. Before the development is commenced, details shall be submitted to and approved in writing by the Local Planning Authority to cover measures to ensure that all mud and other loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

Reason. No details have been provided and to ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Policy H2/2 - The Layout of New Residential Development of the Bury Unitary Development Plan.

9. The visibility splays indicated on approved plan reference PL01 shall be implemented before the development is first occupied and subsequently maintained free of obstruction above the height of 0.6metres.

Reason. To ensure the intervisibility of the users of the site and the adjacent highways in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:

Policy EN1/2 - Townscape and Built Design

Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.

10. The turning facilities on approved plan reference PL01 shall be provided before the development is first occupied and shall subsequently be maintained free of obstruction at all times.
Reason. To minimise the standing and turning movements of vehicles on the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.
11. A minimum hardstanding of 5.5m measured between the footway and any proposed garage doors shall be provided and thereafter maintained.
Reason. To enable a vehicle to stand clear of the highway whilst the garage doors are opened and to allow adequate space to maintain a vehicle clear of the highway in the interests of road safety pursuant to the following Policies of the Bury Unitary Development Plan:
Policy EN1/2 - Townscape and Built Design
Policy H2/1 - The Form of New Residential Development
Policy H2/2 - The Layout of New Residential Development.
12. All trees to be retained on site shall be protected in accordance with BS 5837:2012 "Trees in relation to design, demolition and construction". The development shall not commence unless and until the measures required by the British Standard are implemented and all measures required shall remain in situ until the development has been completed.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
13. No trees, unless indicated otherwise on approved plan - N257/P/PL01 * - shall be felled, lopped or topped before or during the construction period without the previous written consent of the Local Planning Authority.
Reason. To avoid the loss of trees which are of amenity value to the area pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
14. Notwithstanding the plans submitted, a landscaping scheme, including the removal of all hornbeam and all wild cherry and replacement with bird cherry (*Prunus padus*) and guelder rose (*Viburnum opulus*) shall be submitted to, and approved in writing by, the Local Planning Authority prior to the commencement of the development. It shall be implemented not later than 12 months from the date the building(s) is first occupied; and any trees or shrubs removed, dying or becoming severely damaged or becoming severely diseased within five years of planting shall be replaced by trees or shrubs of a similar size or species to those originally required to be planted to the written satisfaction of the Local Planning Authority.
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN1/2 - Townscape and Built Design and EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan.
15. No development shall commence until full details of a scheme for the eradication and/or control of Himalayan Balsam (*Impatiens Glandulifera*) is submitted to and approved in writing by the Local Planning Authority. The approved management plan shall include a timetable for implementation. Should a delay of more than one year occur between the date of approval of the management scheme and either the date of implementation of the management scheme or the date of development commencing, a further site survey must be undertaken and submitted to the Local Planning Authority.

Reason. The scheme does not provide full details of the actual extent of Himalayan Balsam in the interest of UDP Policy EN9 - Landscape and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

16. No development, site clearance or earth moving shall take place or material or machinery brought on site until a method statement to protect the Holcombe Brook from accidental spillages, dust and debris has been submitted to and approved in writing by the Local Planning Authority. Only the approved measures shall be implemented in full prior to the commencement of the development and shall be maintained for the duration of the construction period in accordance with the approved details.

Reason. In order to ensure that no harm is caused to a feature of ecological value pursuant to Policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

17. No development, building work or demolition shall take place unless and until a desk study, scoping report for a watching brief and a program of archaeological works have been submitted to and approved in writing by the Local Planning Authority. These works shall be carried out in accordance with the approved scoping report unless otherwise agreed in writing by the Local Planning Authority.

Reason. The scheme does not provide full details of the actual archaeology present on site and to make a record of buildings and features of archaeological interest pursuant to Policies EN3/1 – Impact of Development on Archaeological Sites, EN3/2 – Development Affecting Archaeological Sites and EN3/3 – Ancient Monuments of the Bury Unitary Development Plan.

18. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the dwellings hereby approved being brought into use.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

19. No development shall commence unless or until details of a scheme for the disposal of surface water drainage have been submitted to and approved in writing by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and be designed in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015). This must include assessment of potential SuDs options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of the proposed maintenance arrangements must be provided. Only the approved scheme shall be implemented prior to occupation of the dwellings hereby approved.

Reason. No details of the drainage have been submitted and to ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.

20. The development hereby approved shall be carried out in accordance with the details contained in the Protected Species Survey Report (Bats), Ecology Services January 2016 (updated June 2016 version 2) Section 6.6.

Reason. In order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

21. No development shall commence unless or until an external lighting strategy has been submitted to and approved in writing by the Local Planning Authority. The strategy shall:

- identify areas/features on site that are potentially sensitive to lighting for bats and any other species that may be disturbed;
- show how and where the external lighting will be installed (through appropriate lighting contour plans) so that it can be demonstrated clearly that any impacts on wildlife are negligible (in particular bats);
- specify frequency and duration of use.

The approved external lighting strategy shall be installed in accordance with the specifications and locations set out in the strategy.

Reason. The scheme does not contain full details of the lighting and to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.

22. No infiltration of surface water drainage into the ground where adverse concentrations of land contamination is known or suspected to be present is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters. The development shall be carried out in accordance with the approval details.

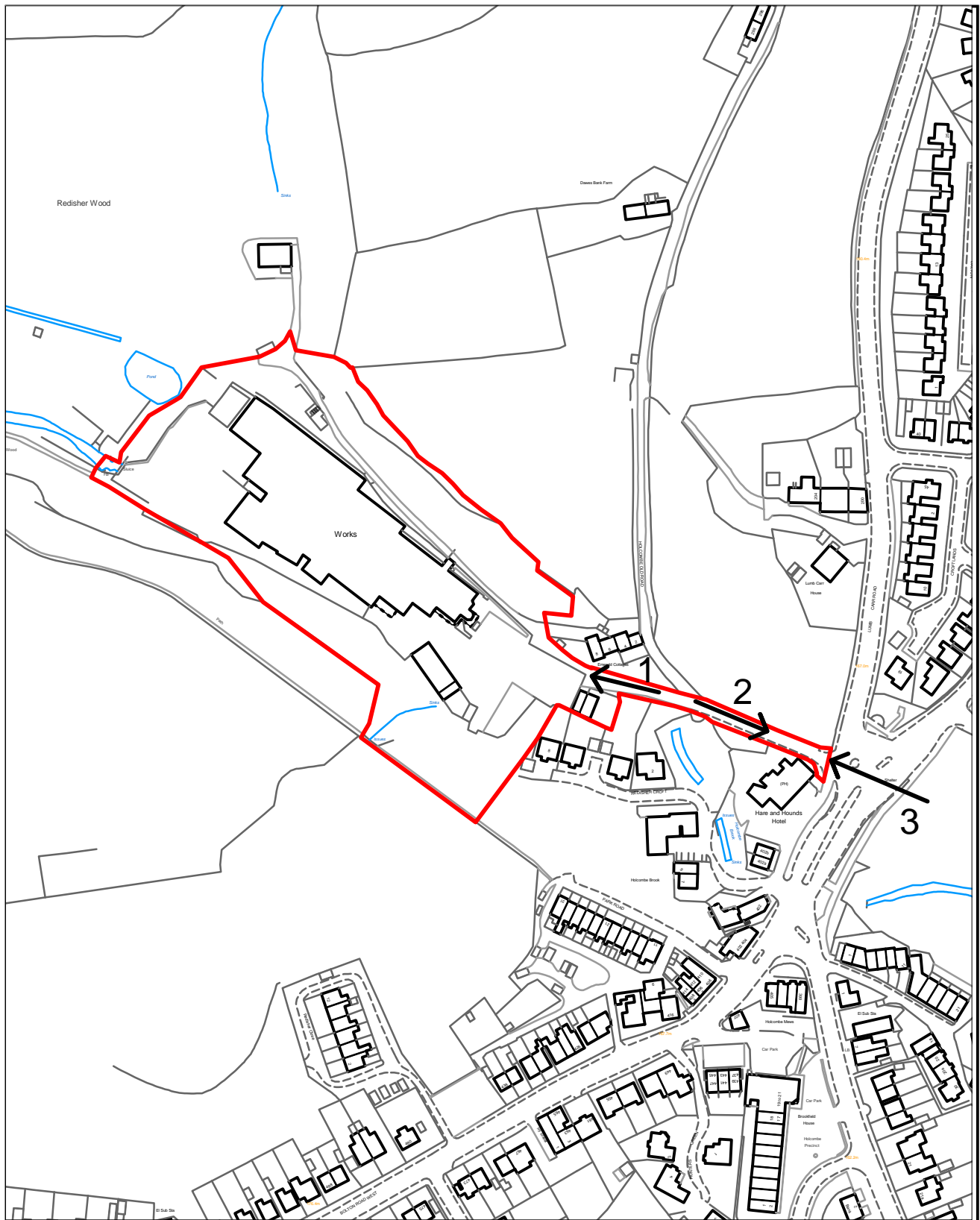
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

23. Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the local planning authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



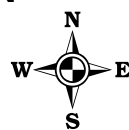
PLANNING APPLICATION LOCATION PLAN

APP. NO 59715

**ADDRESS: Redisher Works
Holcombe Old Road**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

59715

Photo 1



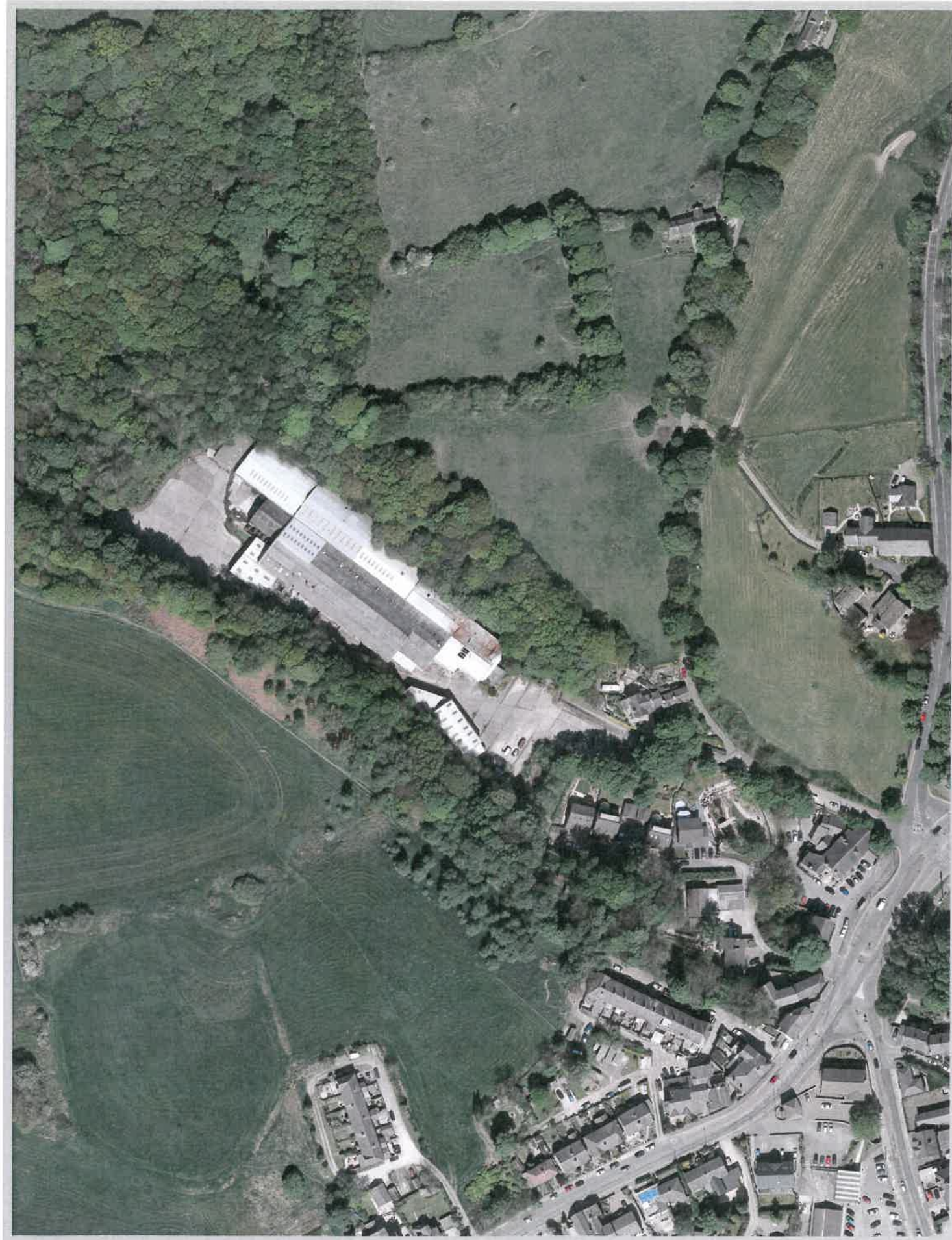
Photo 2



59715

Photo 3





SCALE: 1:2000 **DATE:** 16/06/2016

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Bury
COUNCIL



SCHEDULE OF ACCOMMODATION

NAME	DESCRIPTION	SIZE (sqft)	Units	TOTAL (sqft)
Wharfedale	4 bed detached	1338	1	1338
Willington Side Aspect	4 bed detached	1498	2	2996
Straford Side Aspect	4 bed detached	2173	5	10865
Bridgemere	4 bed detached	2045	1	2045
Bramhall	4 bed detached	1311	8	10488
New Severn	4 bed detached	1867	1	1867
Alderly Edge	4 bed detached	1358	1	1358
Appleton 2	4 bed detached	1054	3	3162
TOTAL			22	34,119

FOOTPRINT CALCULATIONS

NAME	DESCRIPTION	SIZE (sqft)	Units	TOTAL (sqft)
Wharfedale	4 bed detached	880.27	2	1760.54
Wharfedale	4 bed detached	952.93	1	952.93
Straford A	4 bed detached	1011.92	5	5059.6
New Bridgemere	4 bed detached	1195.01	1	1195.01
Bramhall	4 bed detached	339.69	8	2717.52
New Severn	4 bed detached	1304.81	1	1304.81
Alderly Edge	4 bed detached	1191.03	1	1191.03
Appleton 2	4 bed detached	794.92	3	2384.76
TOTAL			22	23,848

LEGEND

- Proposed dwelling
- Proposed dwelling to be built opposite hand
- Proposed brick built garage
- Proposed garage space
- Common areas of shared drives in contrasting material or kerb edges to delineate shared drive area
- Proposed 1.8m high feather edge boarded timber screen fence
- Proposed 1.8m high feather edge boarded timber screen fence with P.C.C. posts & gravel boards
- Proposed railing 1.2m high
- Proposed 1.8m high 0.44m square brick piers at 2.0m c/s with 0.85m high brick dwarf wall/feather edged boarded kerb panels
- Proposed 1.8m high wall with piers at any change of direction
- Proposed 0.45m high timber post & rail divisional fence
- Proposed 0.45m high timber "Y" rail fence
- Existing hedge to be retained
- Existing hedge to be removed
- Proposed Tree Planting
- Existing Trees / Shrubs to be removed

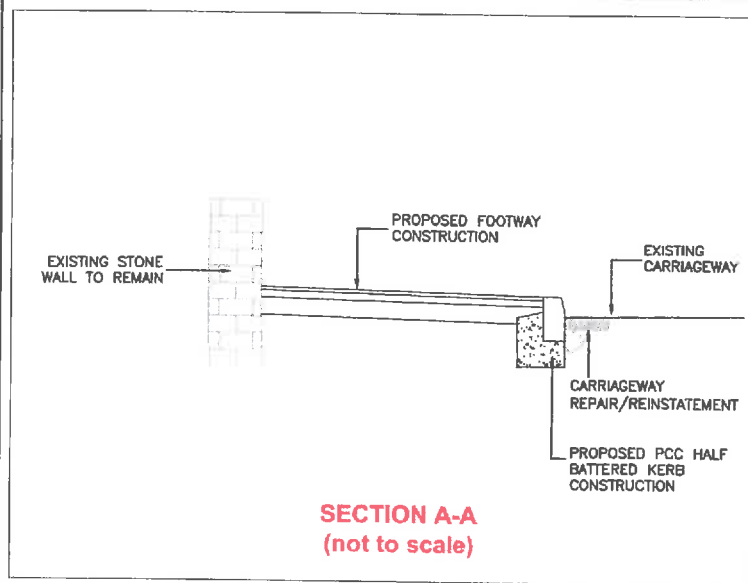
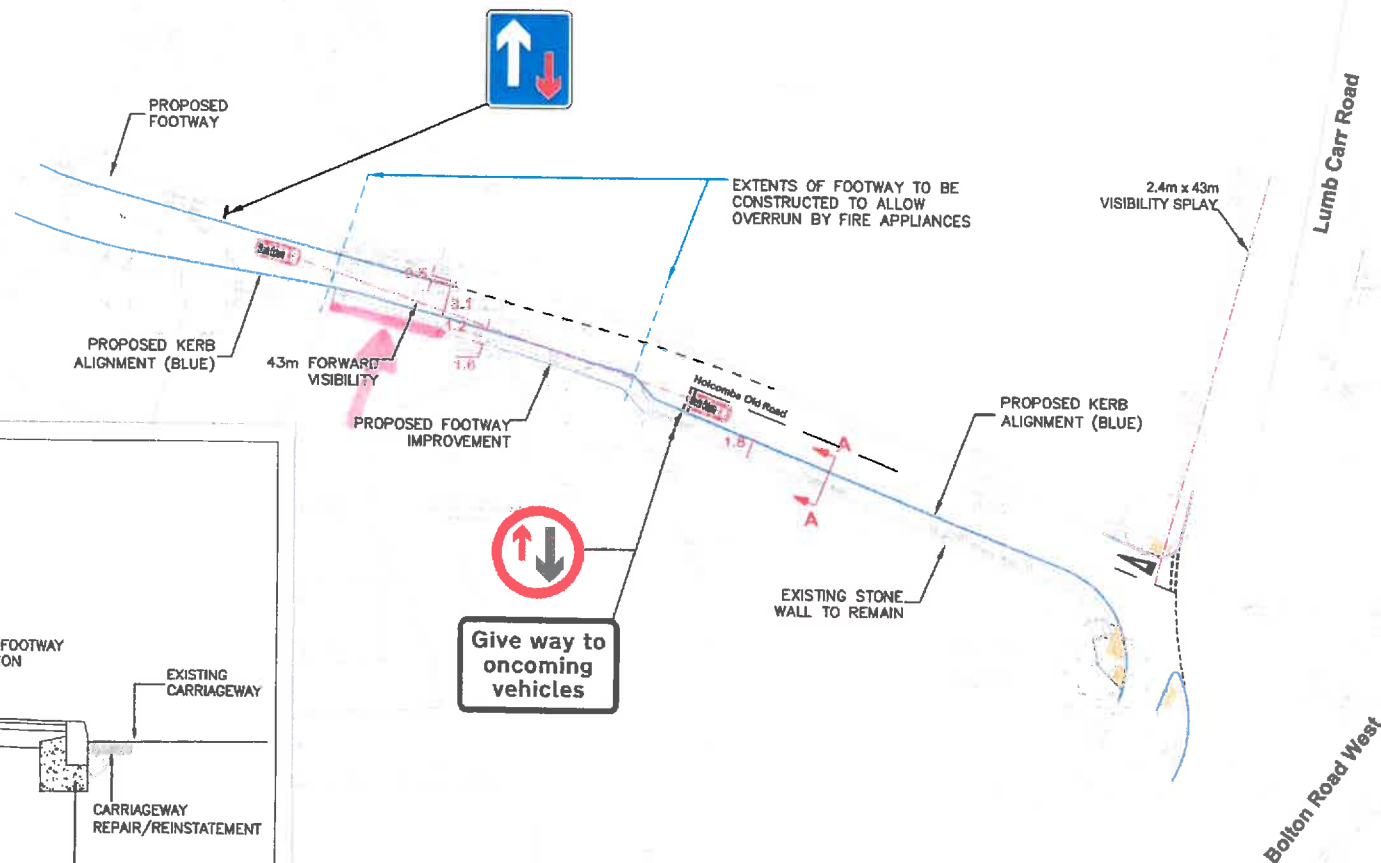
AMENDED TO LOCAL AUTHORITY COMMENTS	30/06/16	CH
REV DESCRIPTION	DATE	INIT

MORRIS HOMES
 Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

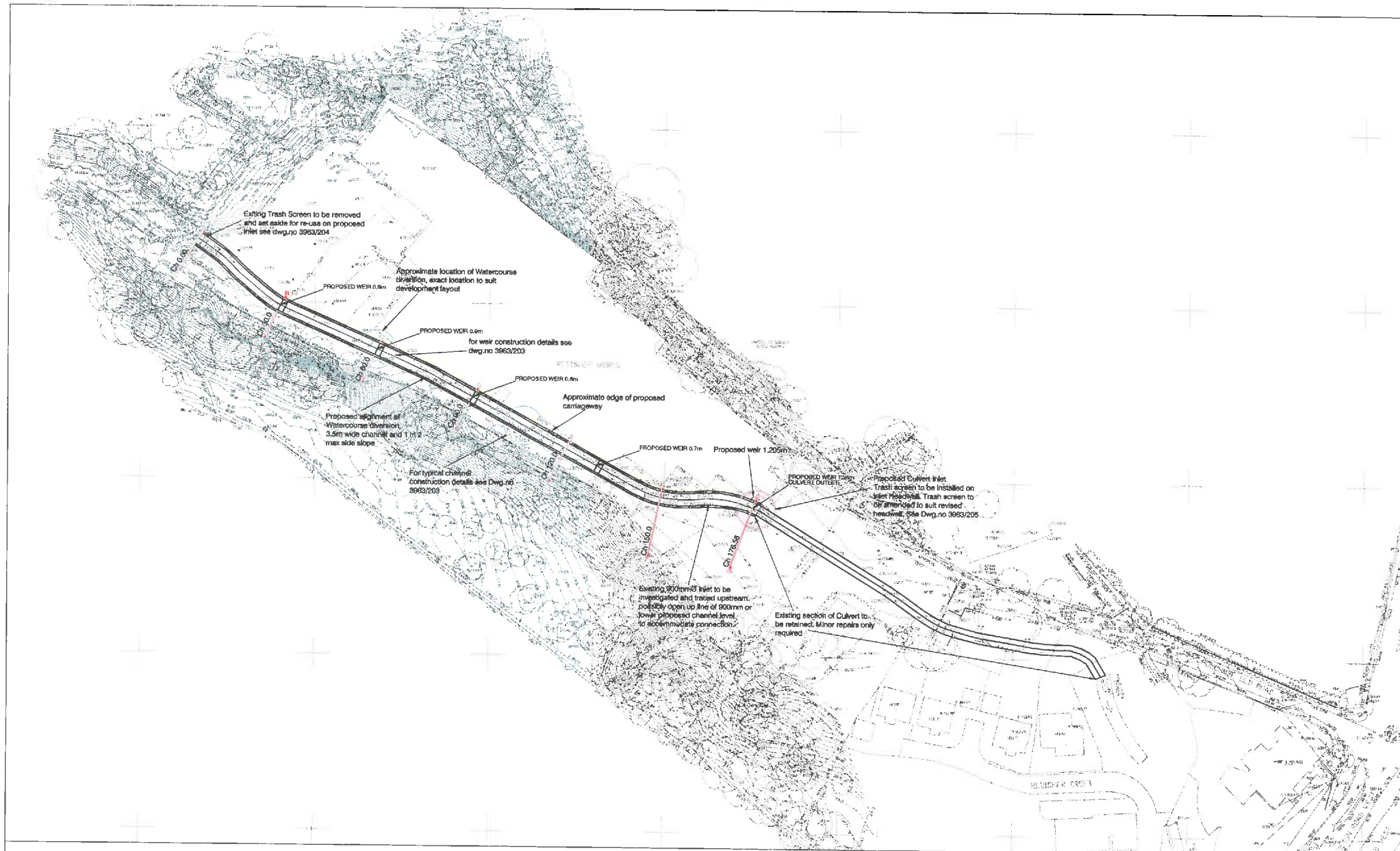
Job Title
Redisher Works - Holcombe Old Road

Sup. Title
PLANNING LAYOUT

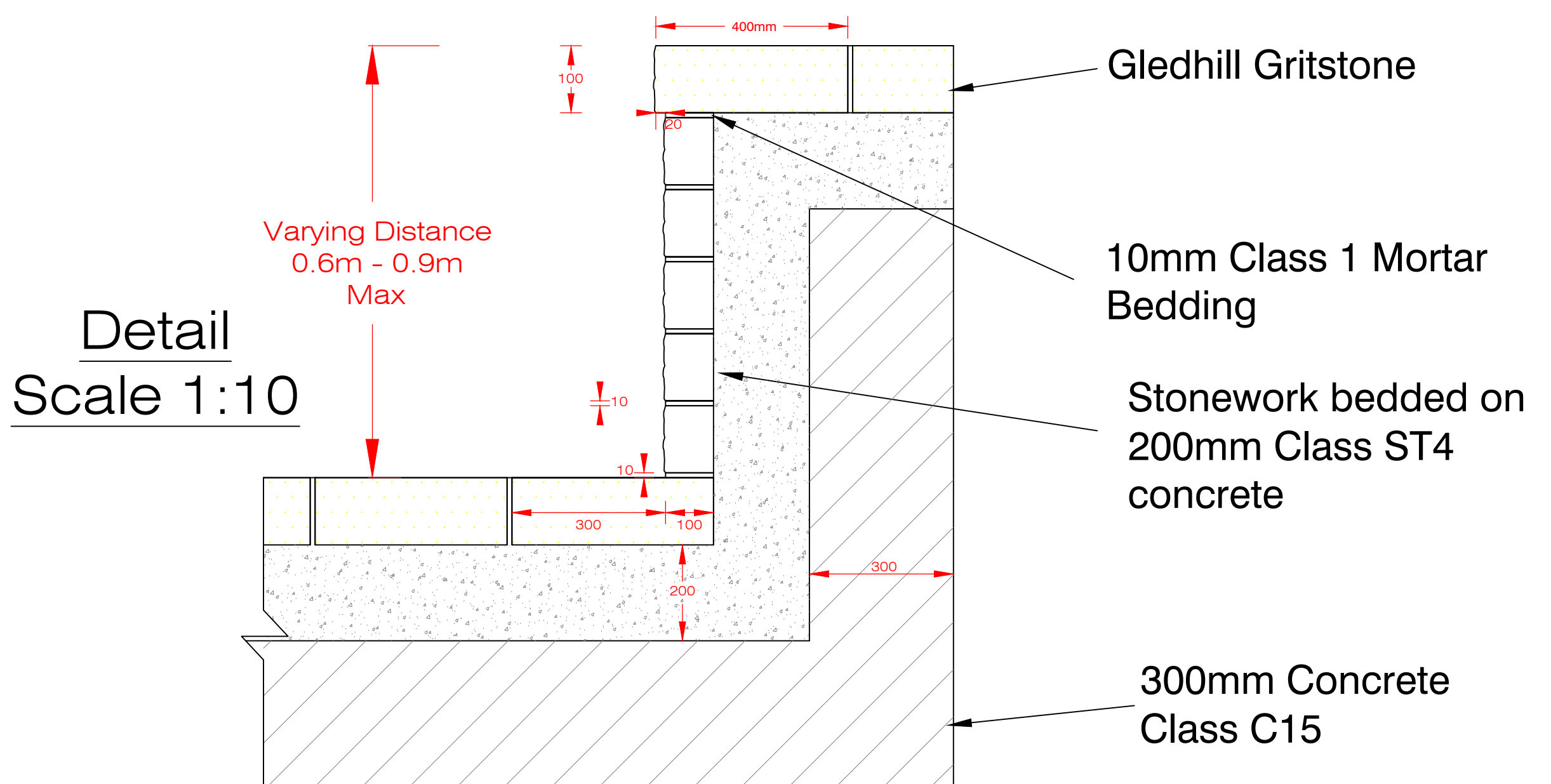
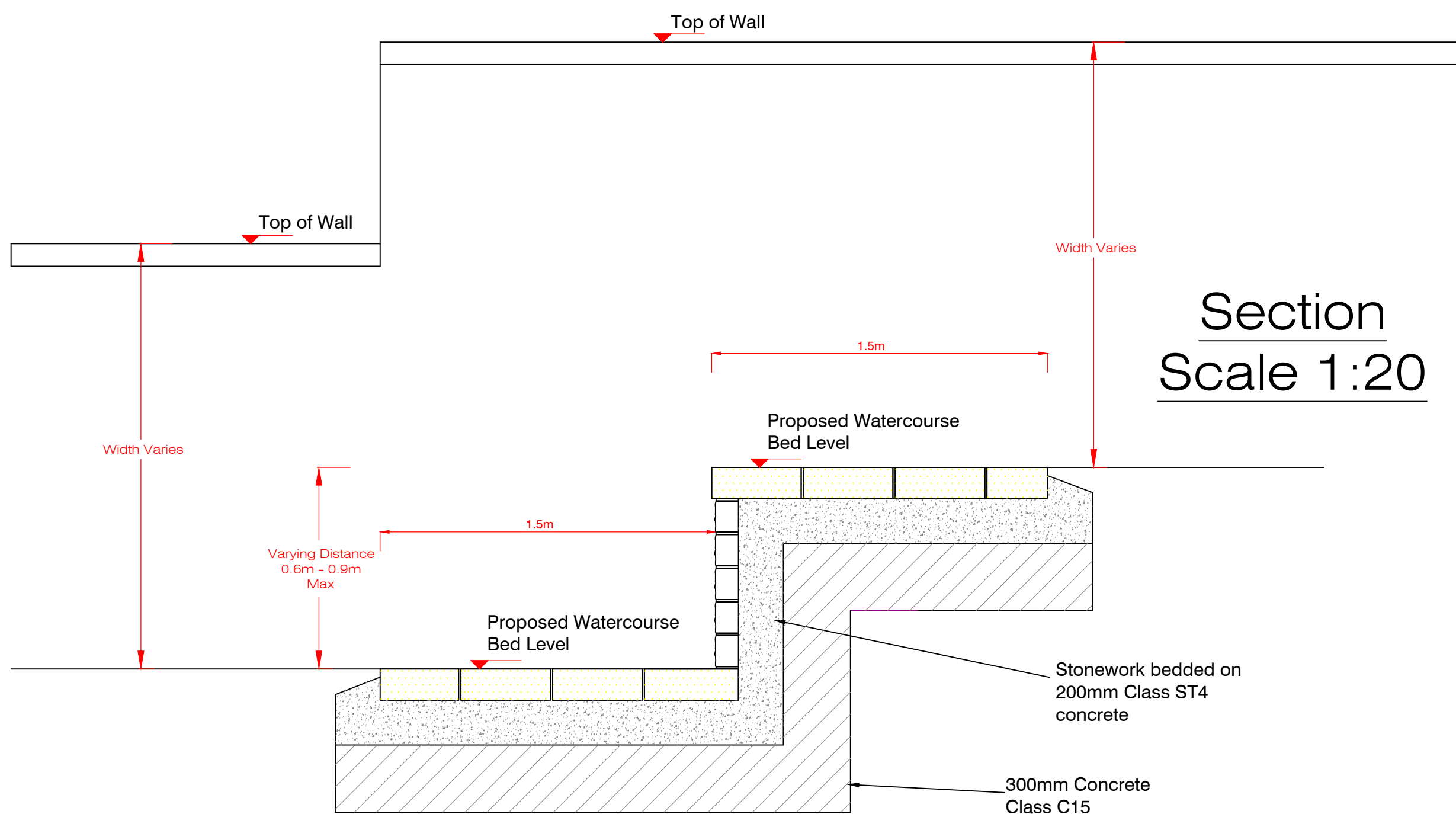
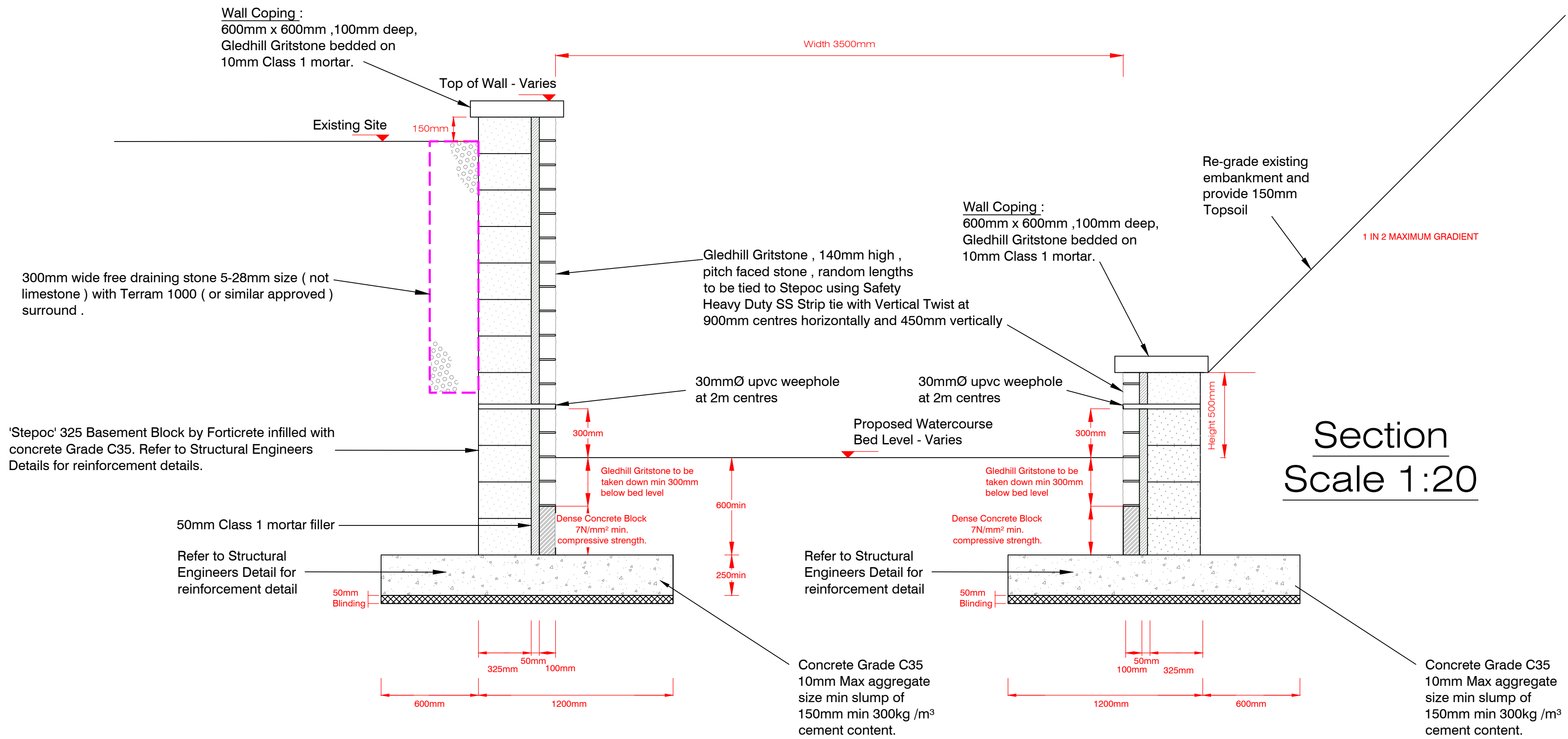
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18/12/15	CMB		1:500 @ A1	N257/P/PL01	A



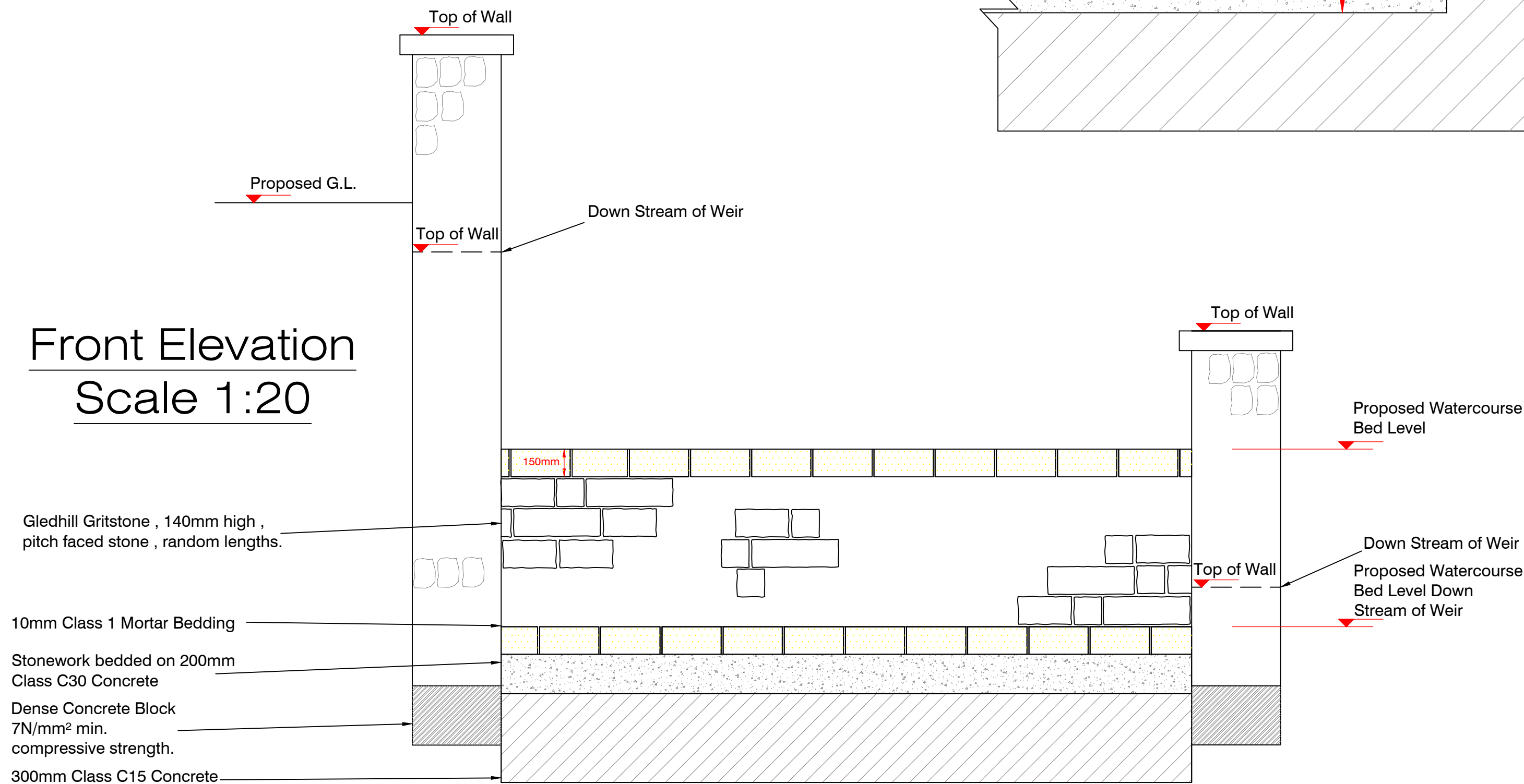
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				-	-	-	-	
		Approved/ Unapproved -	Status PLANNING	-	-	-	-	Revision A



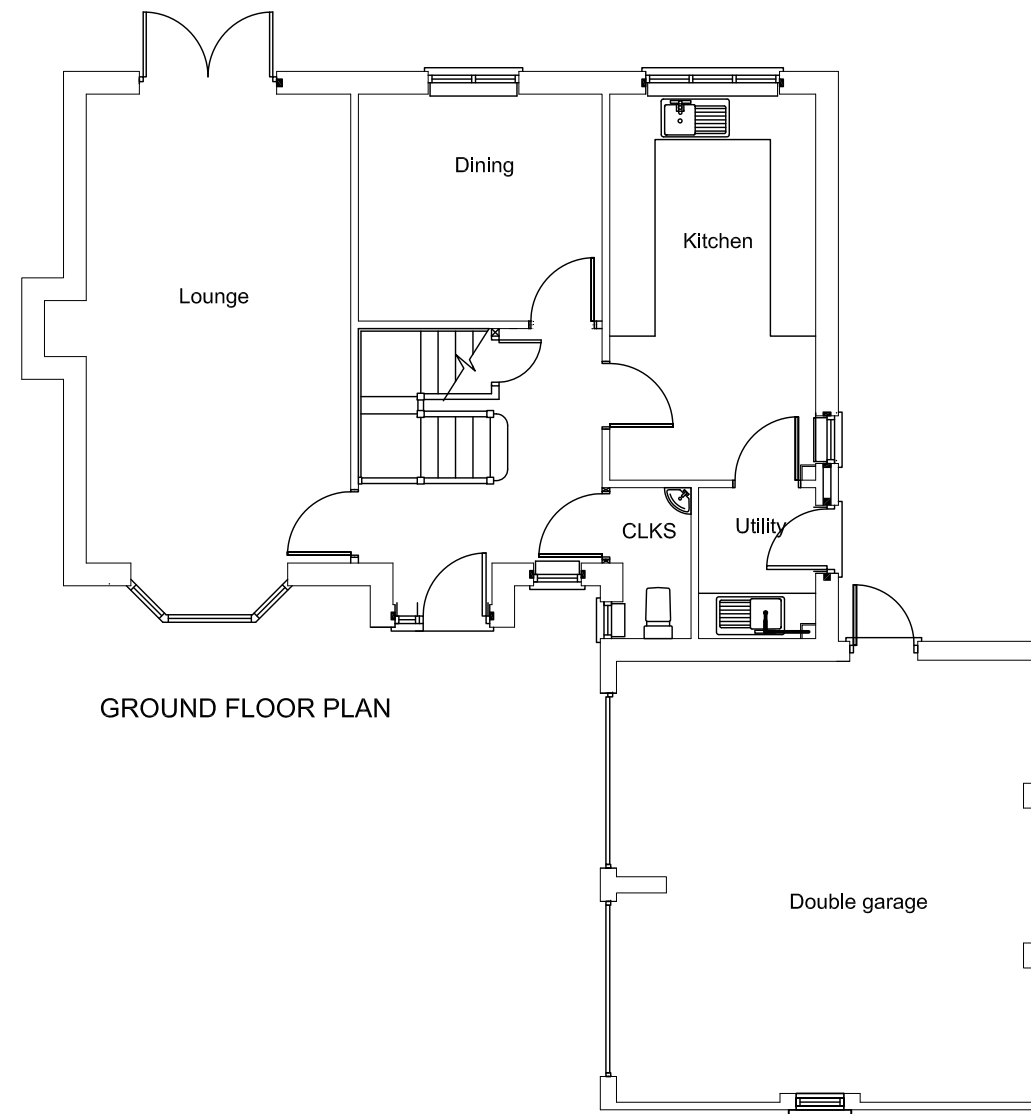
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	Site: Morris Homes	
	Title: Proposed Watercourse Diversion Plan	
	Drawing No.: 3963/200	
Drawing No.: A/1	Scale: 1:500	Date: 10/10/2024



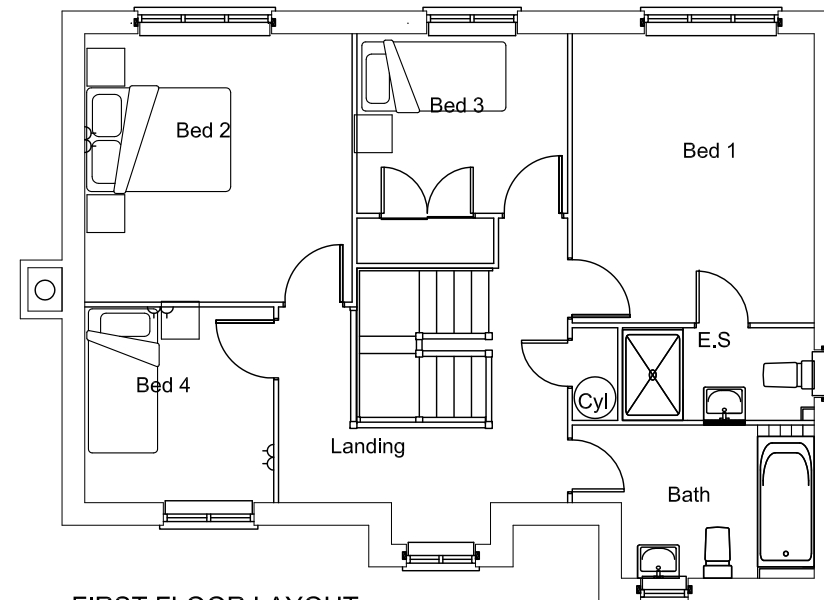
Front Elevation
Scale 1:20



North Point	Project			IronsideFarrar Environmental Planners Civil Engineers Landscape Architects Graphic Design	
	Redisher Works Holcombe Brook				
Quality Ass.	Client			3 Worsley Court MANCHESTER M28 3NJ Tel. 0161 703 8801 Fax. 0161 703 8279 manchester@ironsidefarrar.com	
UKAS 005 Quality Assurance ISO 9001:2008 SGS Certificate GB02/54539	Morris Homes			EDINBURGH BELLSHILL	
	Title			Drawing No. Revision	
	Proposed Water Course Diversion Typical Details			3963/203	
Original Size	Copyright Acknowledgement	Drawn	Checked By		
A1	Ordnance Survey® © Crown Copyright. All rights reserved. Licence No. AL100017966	NB Date May 15	SRG Scale As Shown		



GROUND FLOOR PLAN



FIRST FLOOR LAYOUT

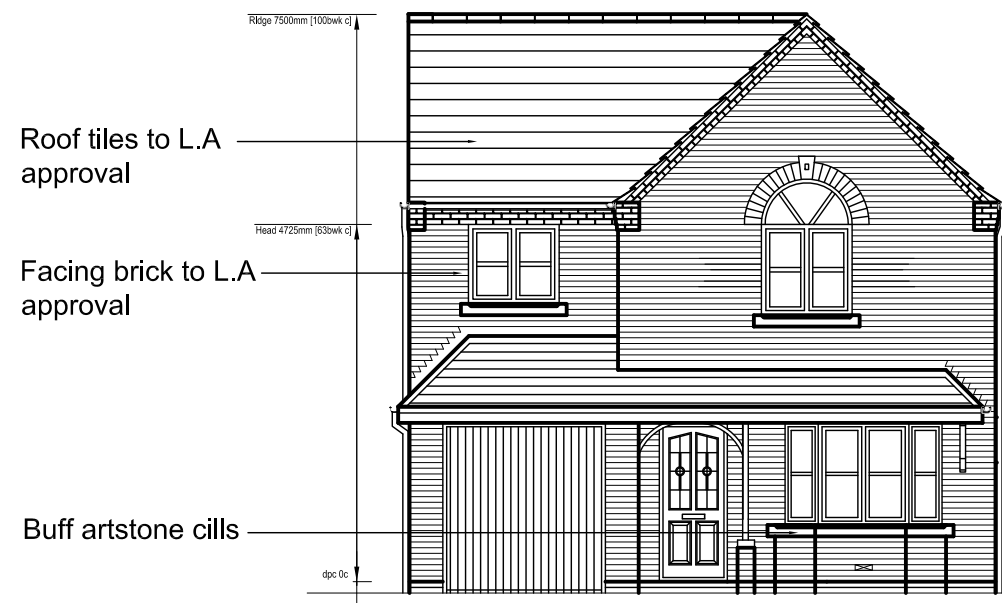
REV	DESCRIPTION	DATE	INIT


MORRIS HOMES
 Morris Homes (Group) Limited
 Morland House
 Altrincham Road
 Wilmslow
 Cheshire SK9 5NW
 Tel: (01625) 544 444
 Fax: (0845) 833 1845

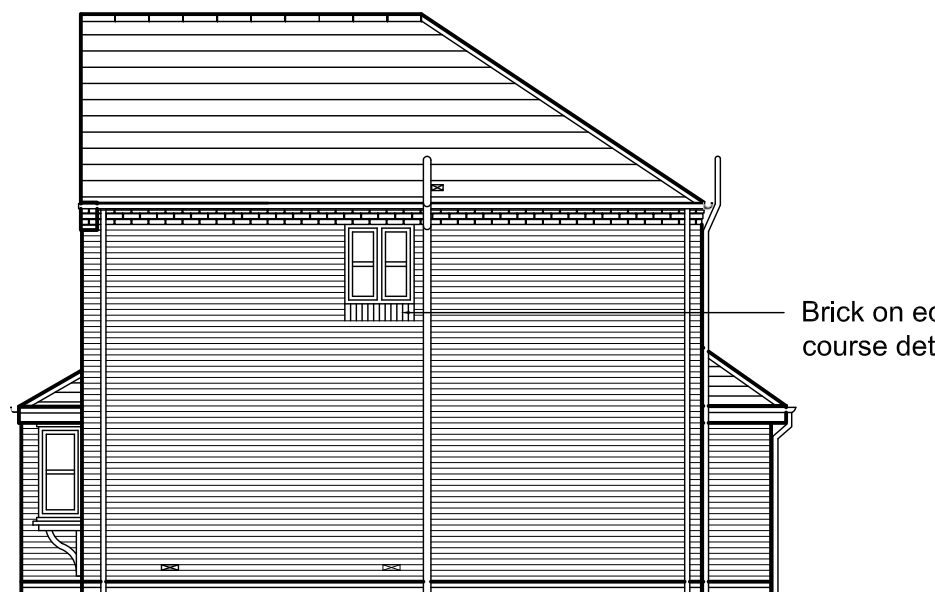
Job Title
REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
**ALDERLEY EDGE HOUSE TYPE
FLOOR PLANS**

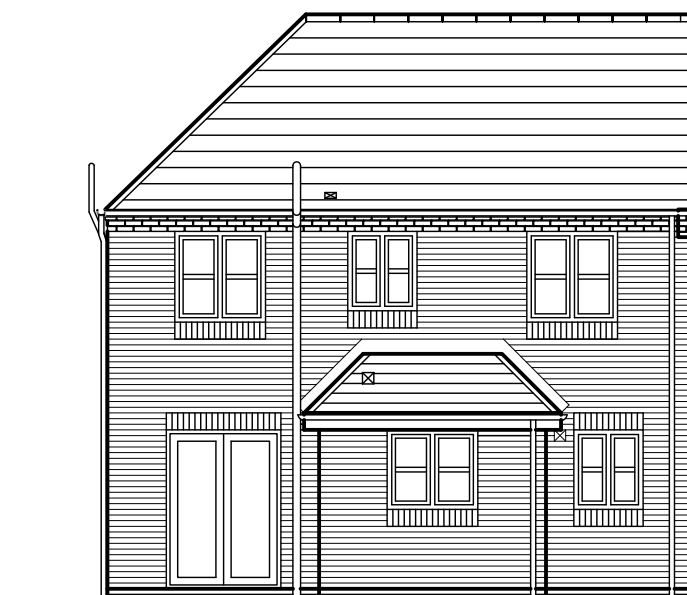
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Front Elevation




Side elevation

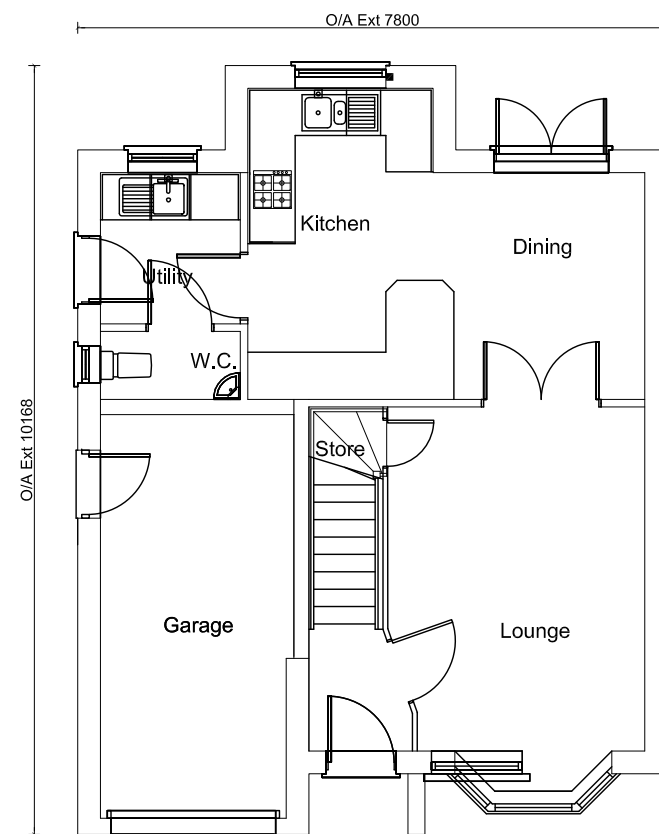


Rear elevation

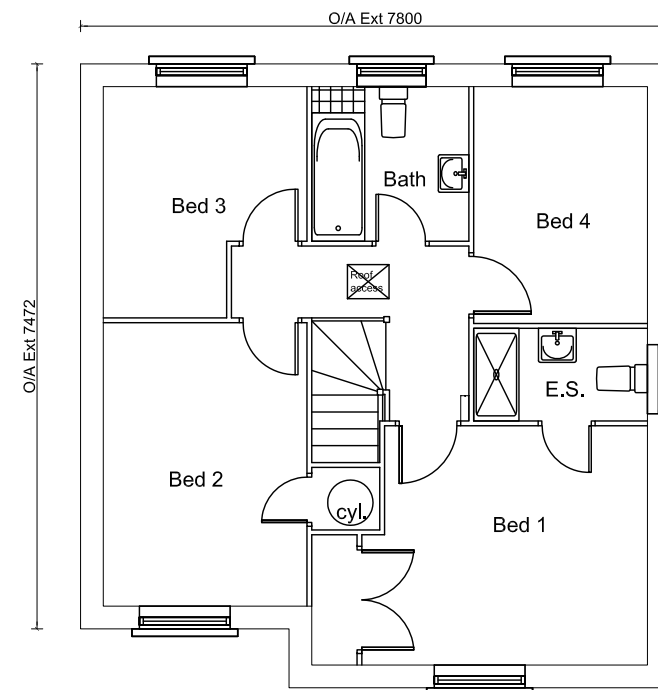


Side elevation


REV	DESCRIPTION			DATE	IN
<div><div></div><div><p>Morris Homes (Group) Limited Morland House Altrincham Road Wilmslow Cheshire SK9 5NW Tel: (01625) 544 444 Fax: (0845) 833 1845</p></div></div>					
Job Title					
REDISHER WORKS, HOLCOMBE OLD ROAD					
Dwg. Title					
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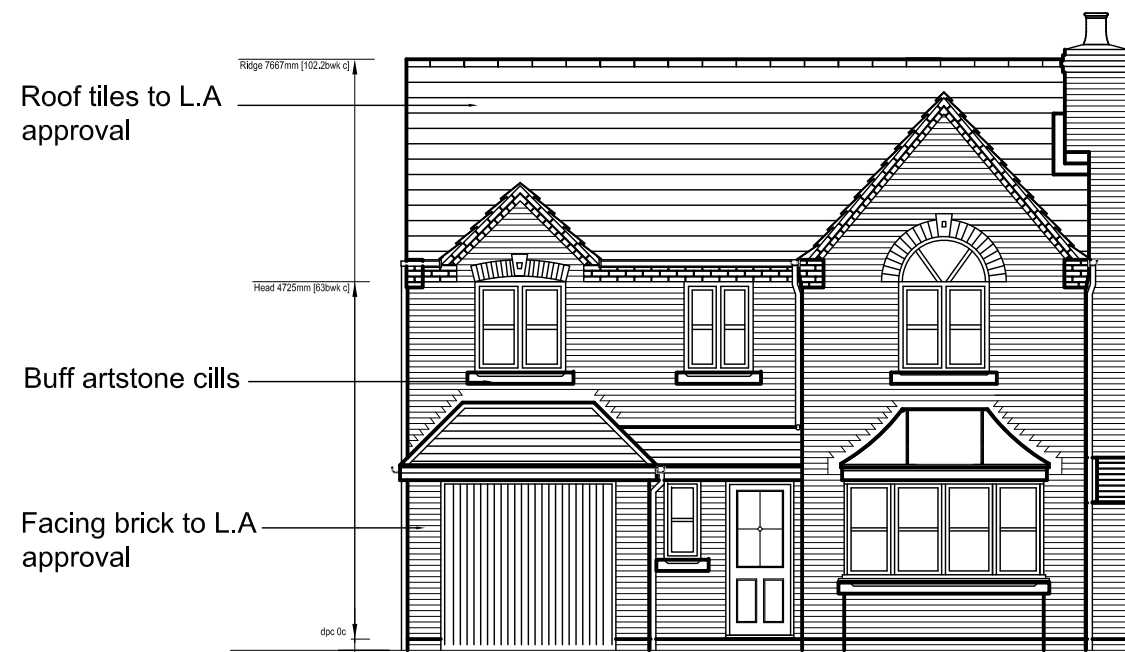


GROUND FLOOR PLAN

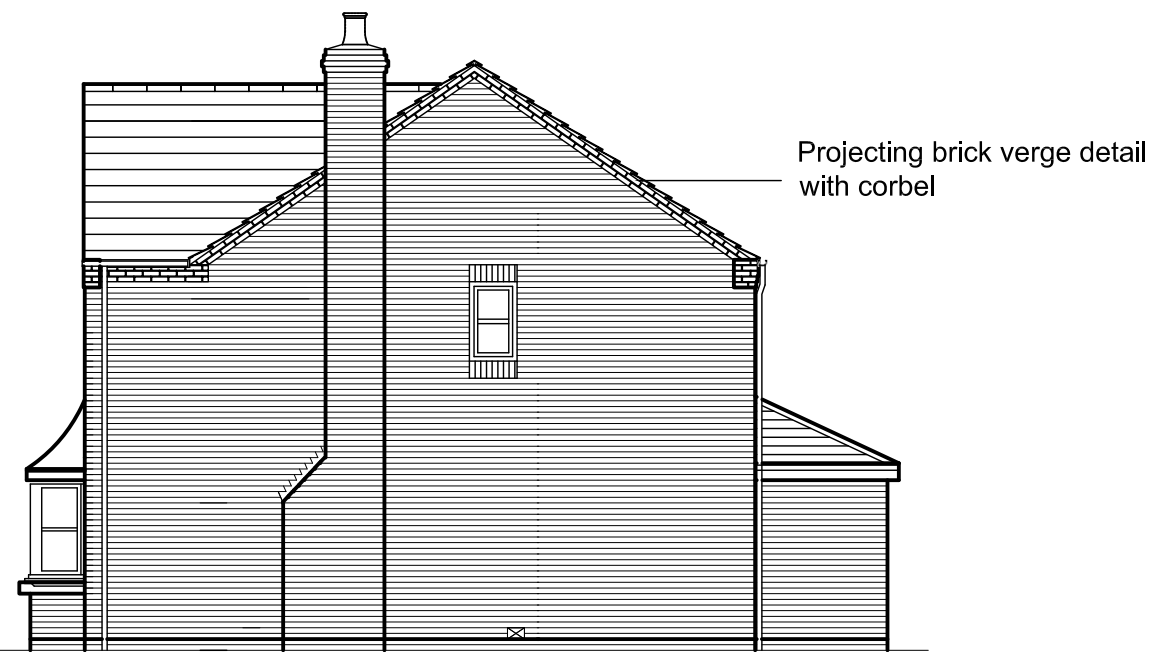


FIRST FLOOR LAYOUT

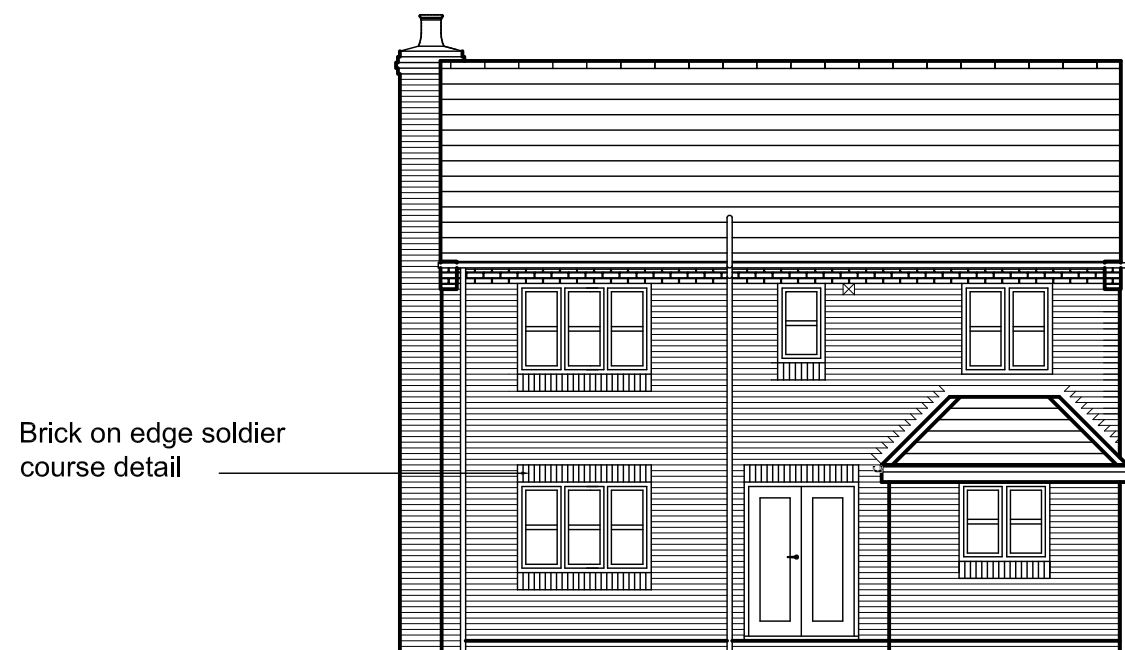
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Job Title					
REDISHER WORKS, HOLCOMBE OLD ROAD					
Dwg. Title					
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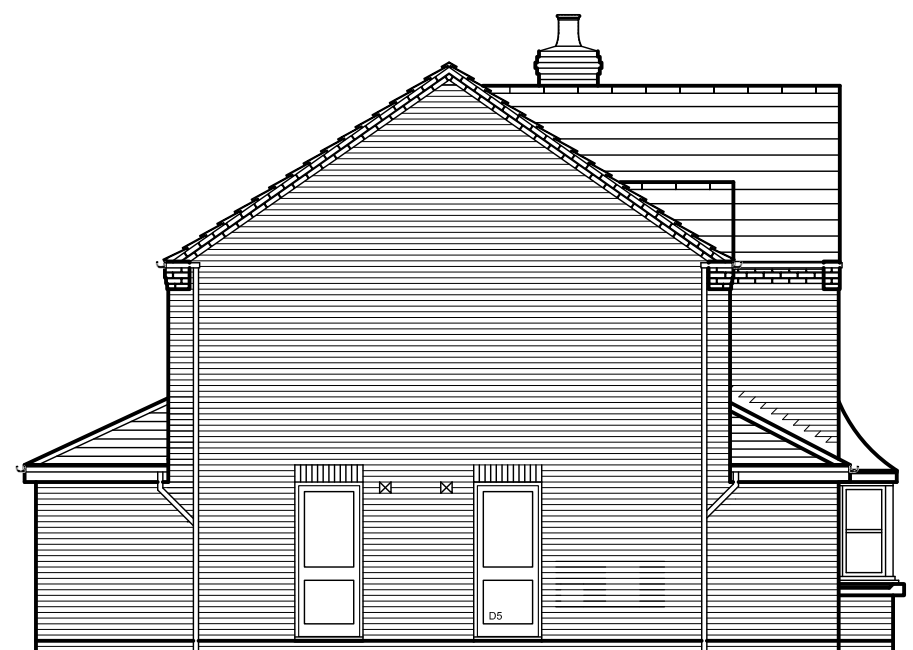
Front Elevation




Side Elevation

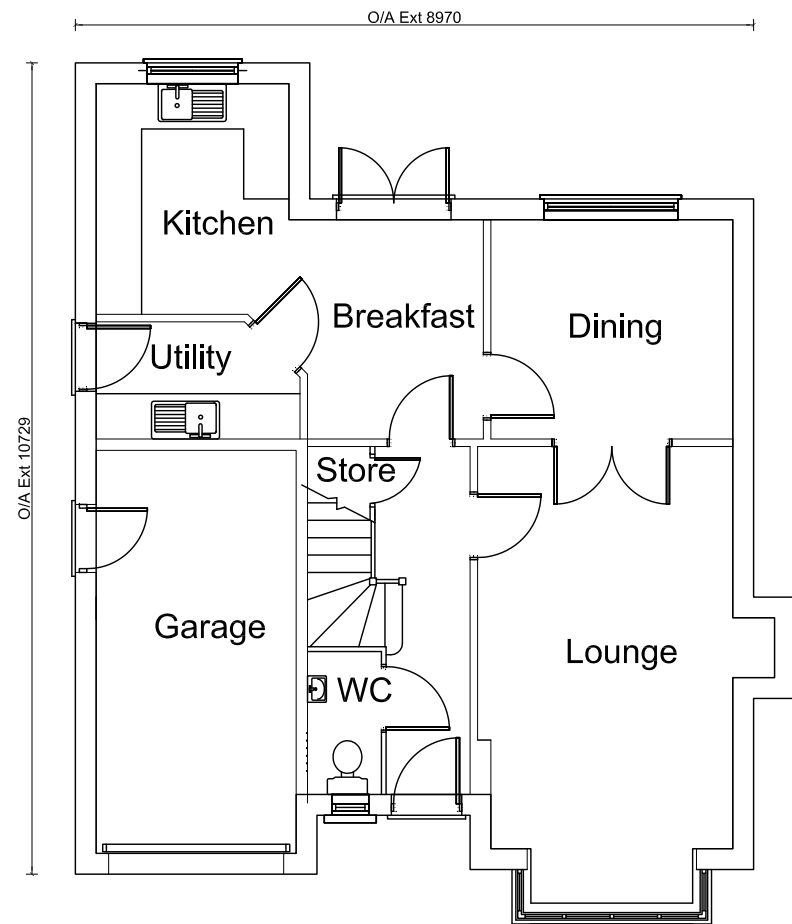


Rear Elevation

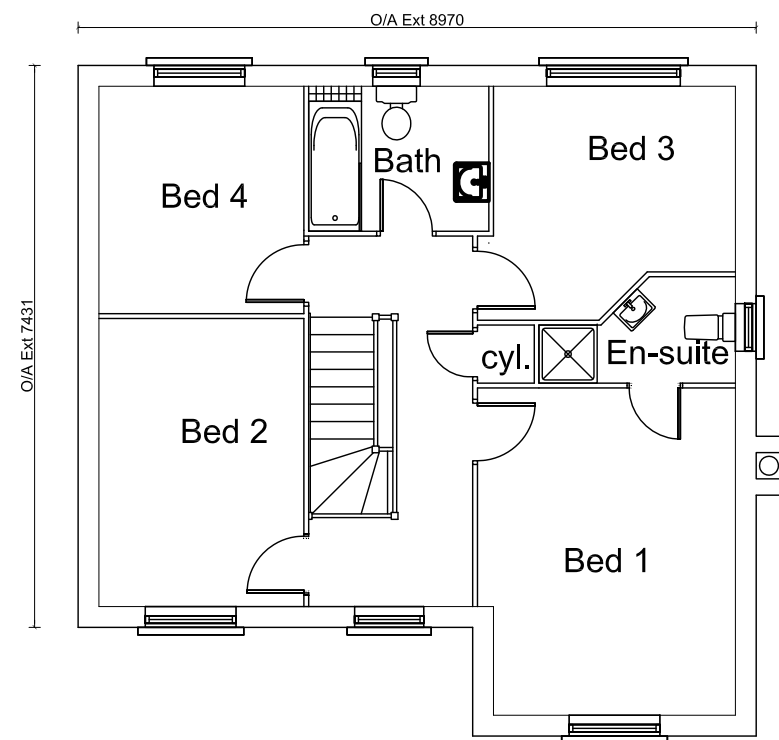


Side Elevation


REV	DESCRIPTION	DATE	INIT
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Job Title REDISHER WORKS, HOLCOMBE OLD ROAD			
Dwg. Title BRAMHALL HOUSE TYPE ELEVATIONS			
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			N257/P/HTBRA/01
			rev
			-



GROUND FLOOR LAYOUT

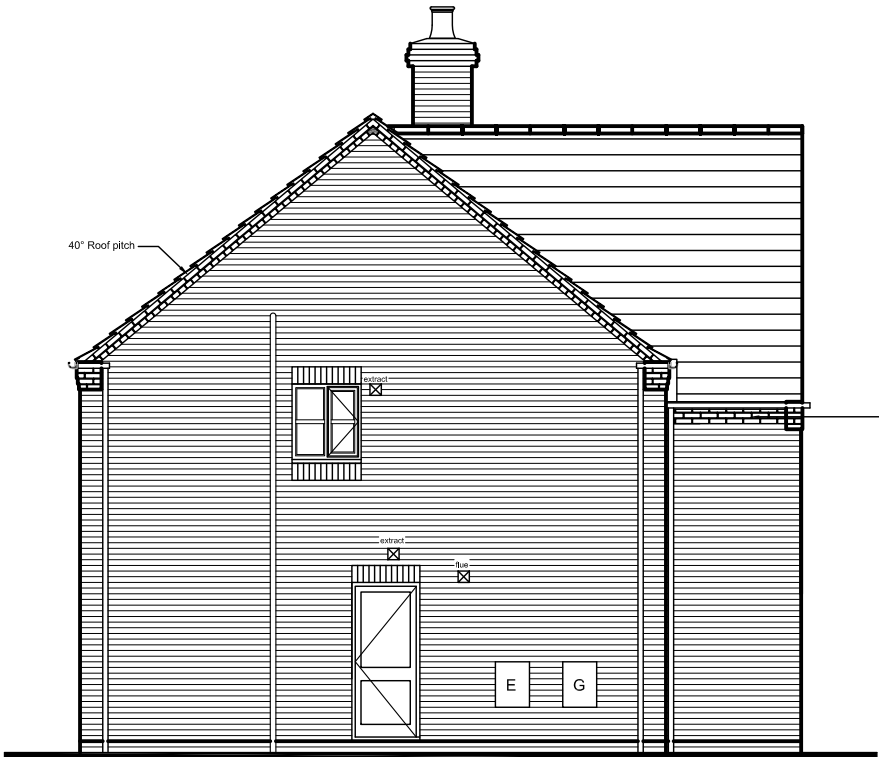


FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	INIT		
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<div>Dwg. Title</div> <div>BRAMHALL HOUSE TYPE FLOOR PLANS</div>					
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Front Elevation



Side Elevation



Rear Elevation



Side Elevation

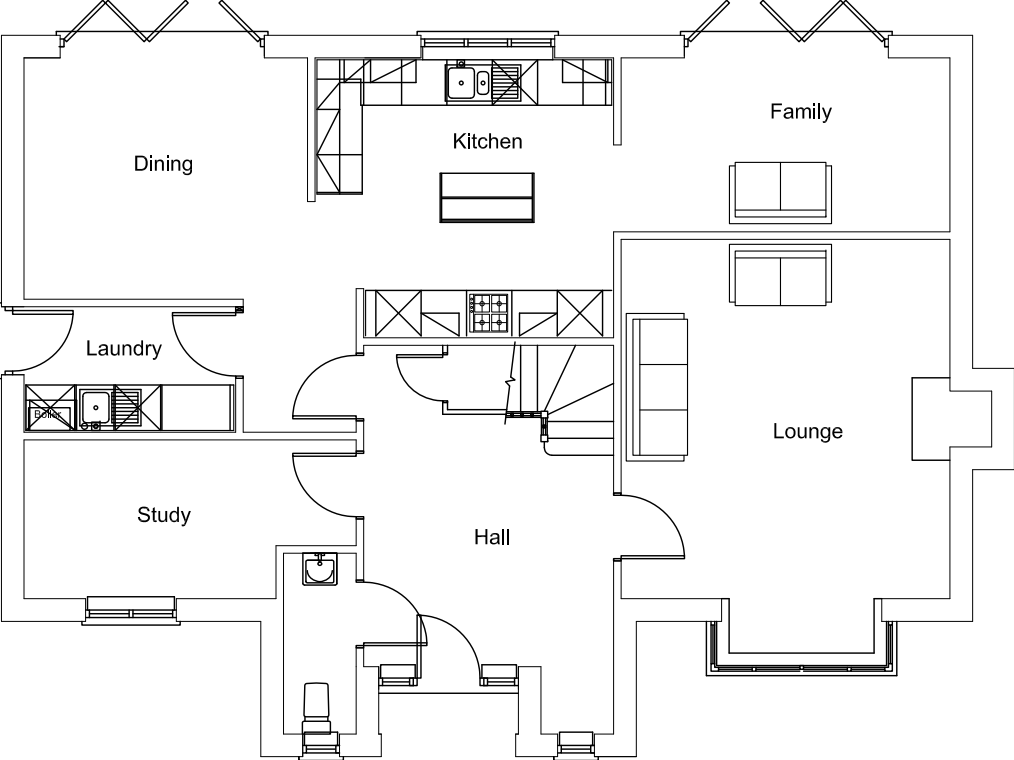
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 Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845

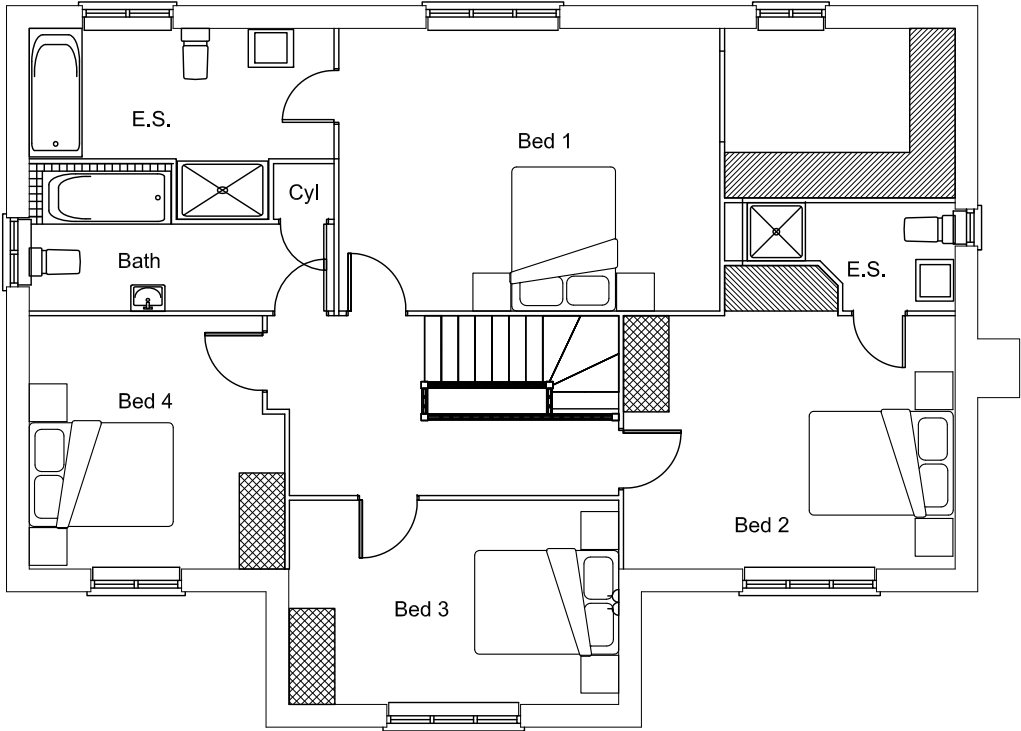
Job Title
REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
BRIDGEMERE HOUSE TYPE
ELEVATIONS

date	drawn	checked	scale	dwg.no	rev
02/02/16	CMB		1:100 @ A3	N257/P/HTBRID/01	-



GROUND FLOOR PLAN

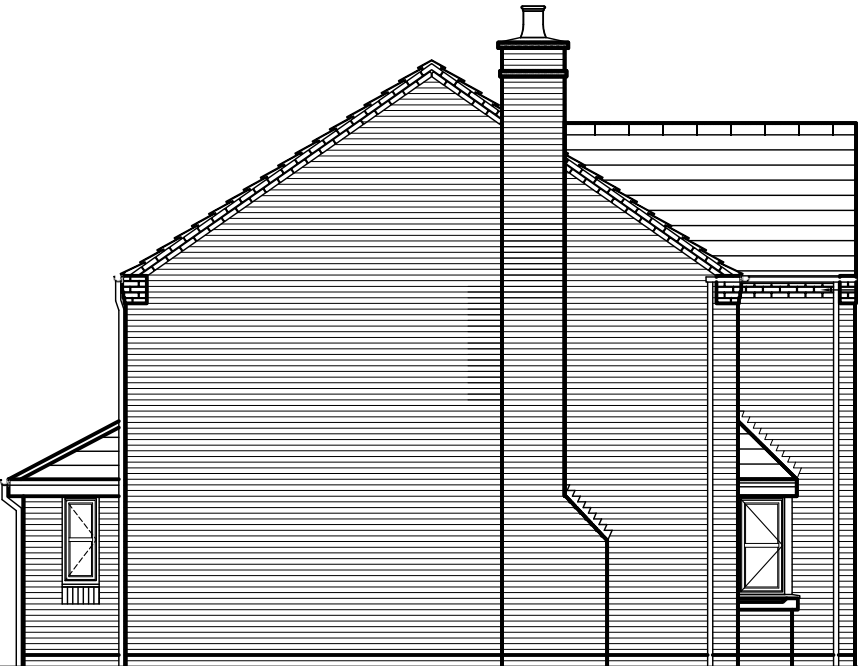


FIRST FLOOR LAYOUT

REV		DESCRIPTION		DATE	INIT
<div><div><div>MORRIS HOMES</div></div><div>Morris Homes (Group) Limited Morland House Altrincham Road Wilmslow Cheshire SK9 5NW Tel: (01625) 544 444 Fax: (0845) 833 1845</div></div>					
Job Title REDISHER WORKS, HOLCOMBE OLD ROAD					
Dwg. Title BRIDGEMERE HOUSE TYPE FLOOR PLANS					
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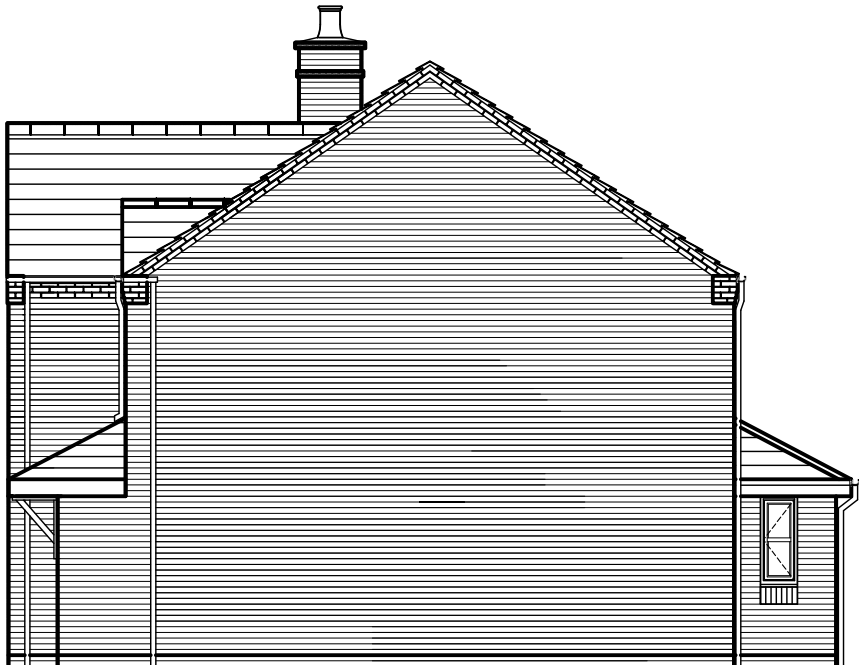
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

Projecting brick verge detail

Brick on edge
soldier course detail

REV	DESCRIPTION	DATE	INIT

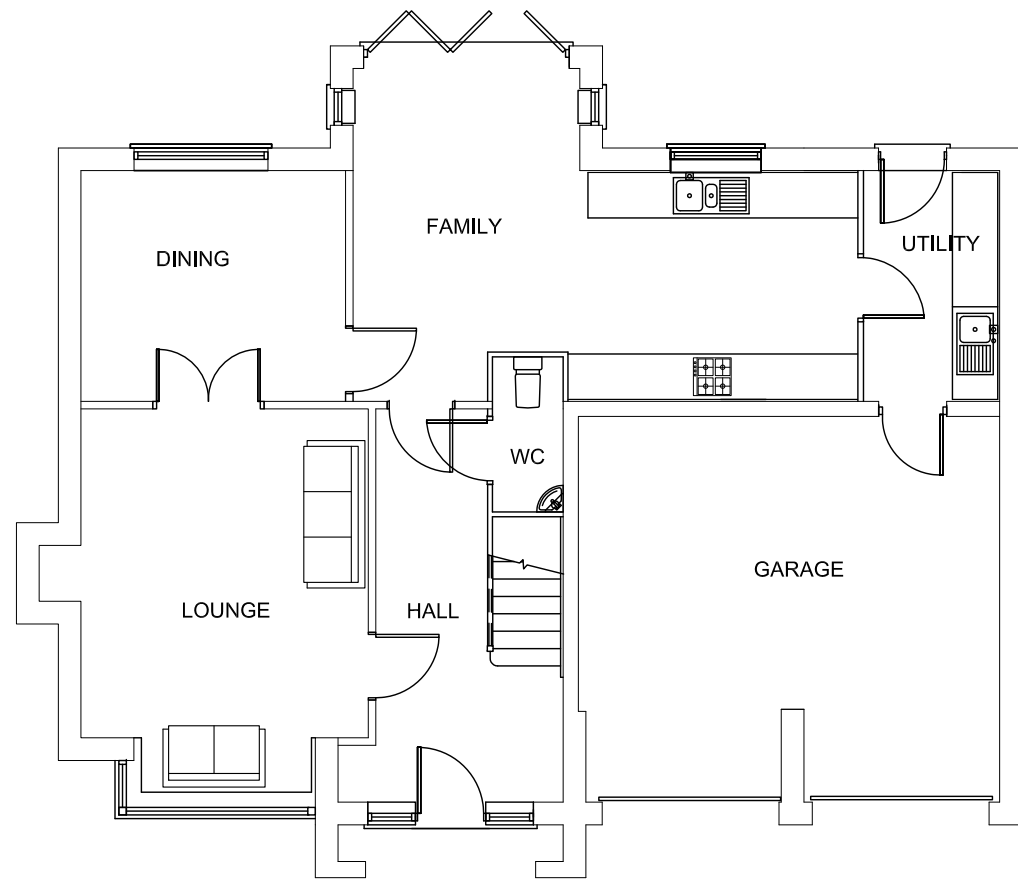


Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845

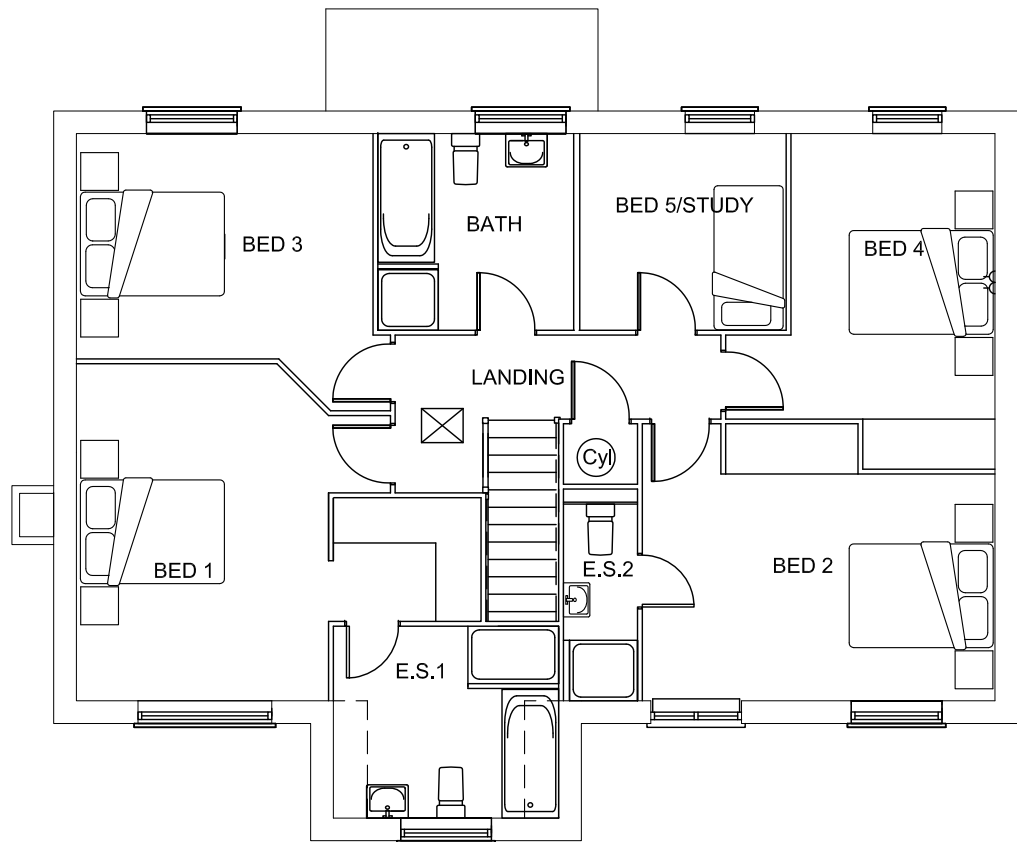
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REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
SEVERN HOUSE TYPE
ELEVATIONS

date	drawn	checked	scale	dwg.no	rev
02/02/16	CMB		1:100 @ A3	N257/P/HTSEV/01	-



GROUND FLOOR PLAN



FIRST FLOOR LAYOUT

REV	DESCRIPTION	DATE	INIT

 Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845

Job Title
REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
SEVERN HOUSE TYPE
FLOOR PLANS

date	drawn	checked	scale	dwg.no	rev
02/02/16	CMB		1:100 @ A3	N257/P/HTSEV/02	-

Roof tiles to L.A
approval

Buff artstone cills

Facing brick to
L.A approval



FRONT ELEVATION



SIDE ELEVATION


Brick on edge soldier
course detail

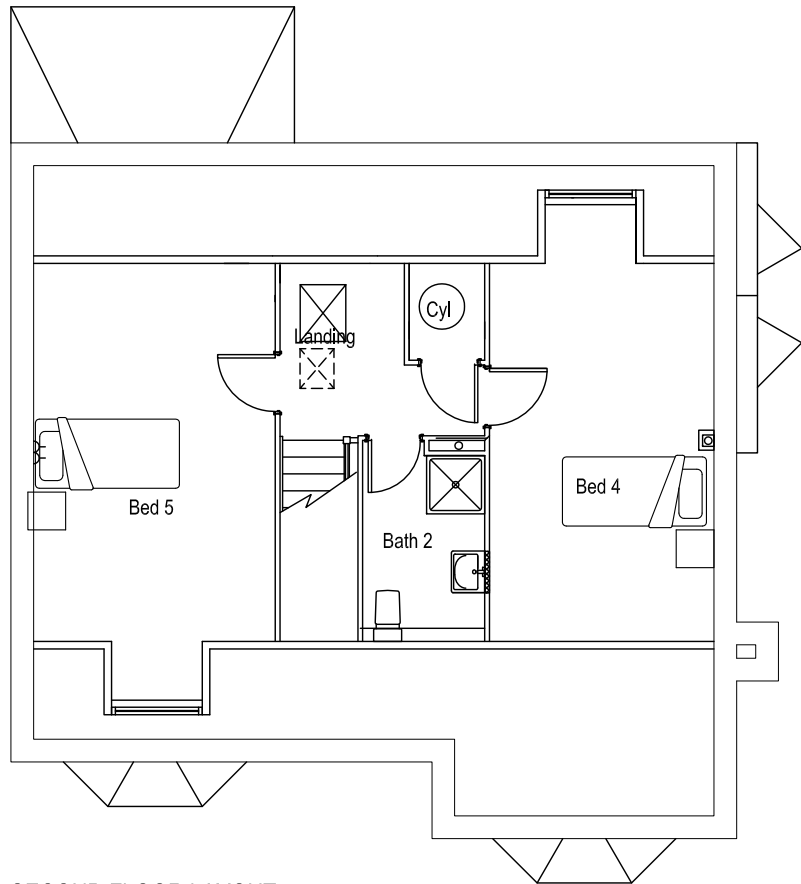


REAR ELEVATION

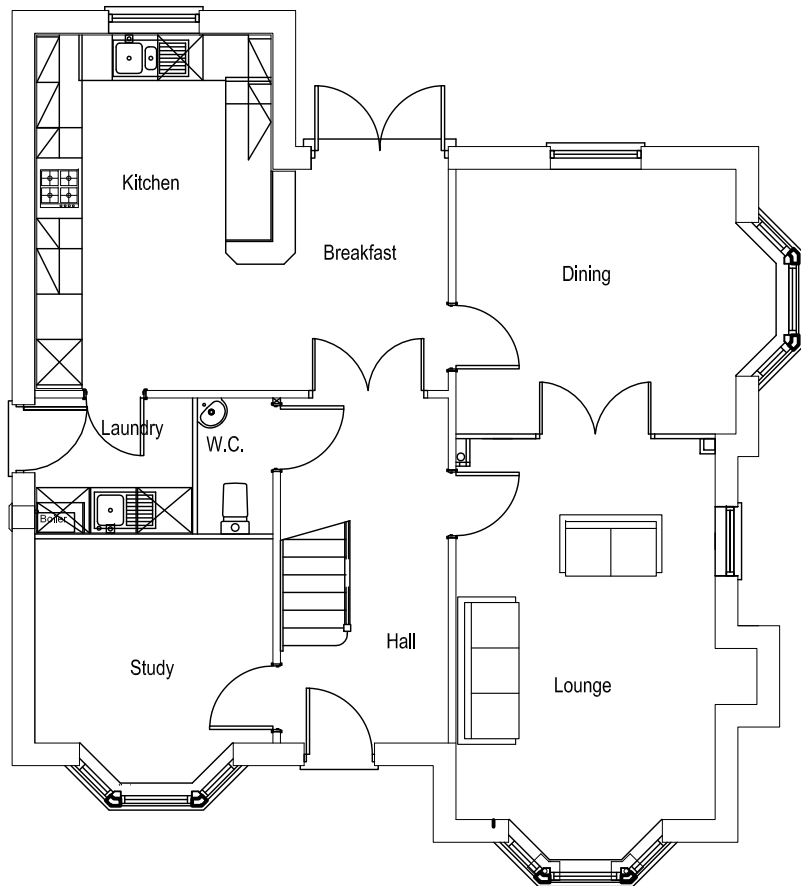


SIDE ELEVATION

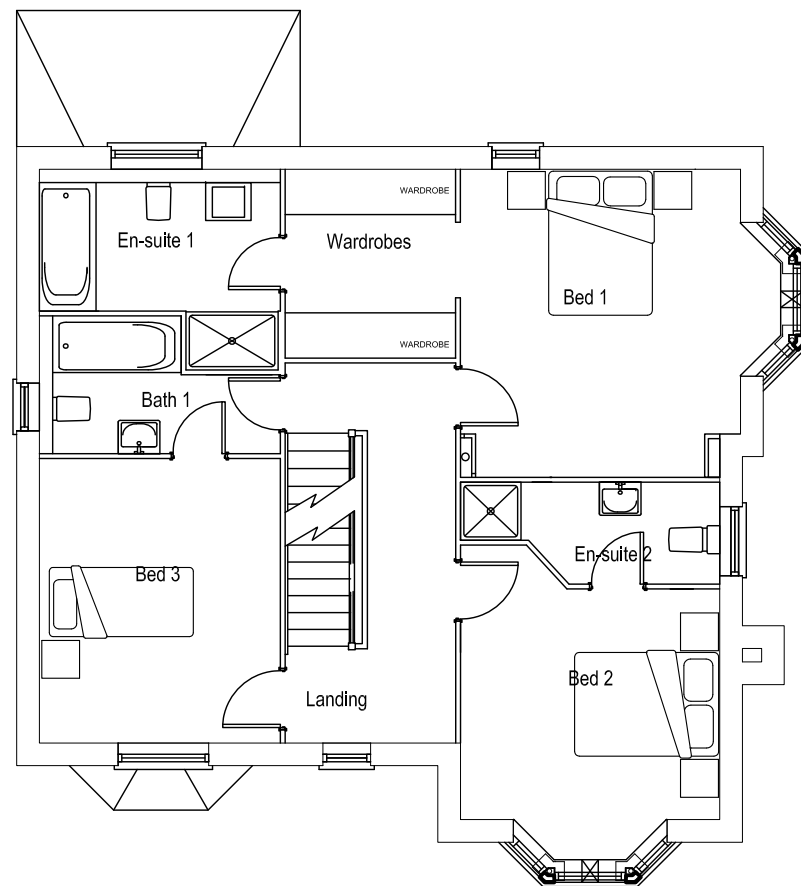
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 <p>Morris Homes (Group) Limited Morland House Altrincham Road Wilmslow Cheshire SK9 5NW Tel: (01625) 544 444 Fax: (0845) 833 1845</p>					
Job, Title REDISHER WORKS, HOLCOMBE OLD ROAD					
Dwg. Title STRATFORD A HOUSE TYPE ELEVATIONS					
date	drawn	checked	scale	dwg.no	rev
12/03/15	SJM		1:100 @ A3	N257/P/HTSTRA/01	-




SECOND FLOOR LAYOUT



GROUND FLOOR LAYOUT



FIRST FLOOR LAYOUT

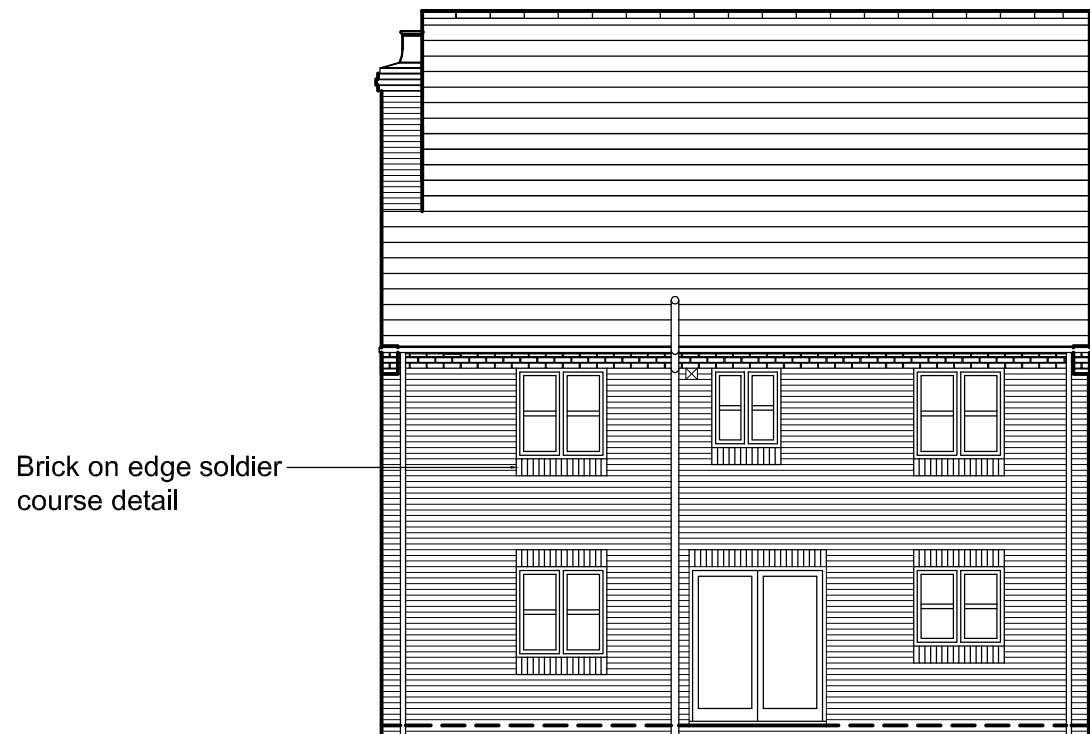
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Job, Title REDISHER WORKS, HOLCOMBE OLD ROAD			
Dwg, Title STRATFORD A HOUSE TYPE FLOOR PLANS			
date	drawn	checked	scale
12/03/15	SJM		1:100 @ A3
			dwg.no
			N257/P/HTSTRA/02
			rev
			-



FRONT ELEVATION



SIDE ELEVATION




REAR ELEVATION



SIDE ELEVATION

REV	DESCRIPTION	DATE	INT

 Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845

Job Title
REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
WILLINGTON SIDE ASPECT HOUSE TYPE ELEVATIONS

date	drawn	checked	scale	dwg.no	rev
11/11/15	SJM		1:100 @ A3	N257/P/HTWLSA/01	-

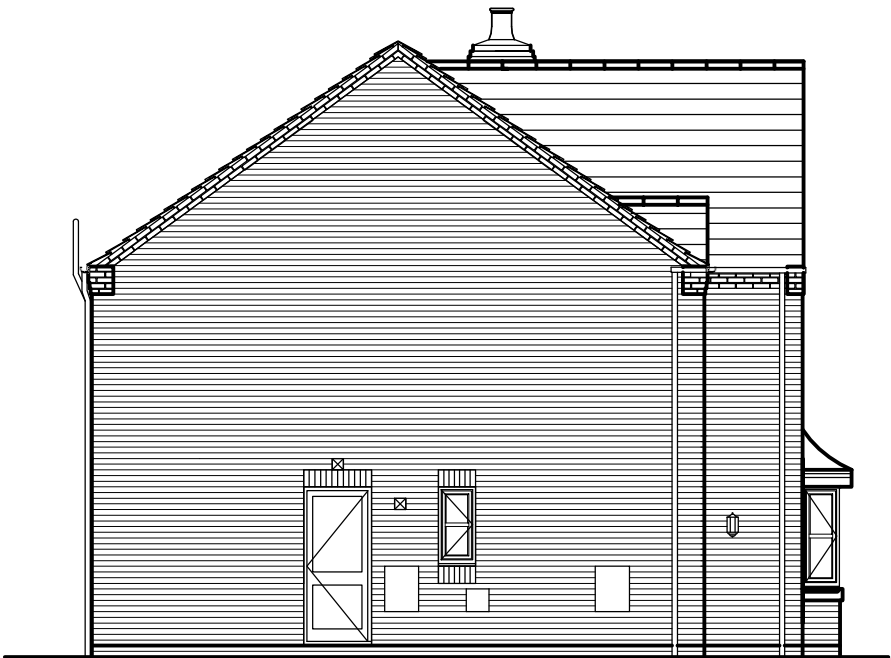
Roof tiles to L.A
approval

Buff artstone cills

Facing brick to L.A
approval



FRONT ELEVATION

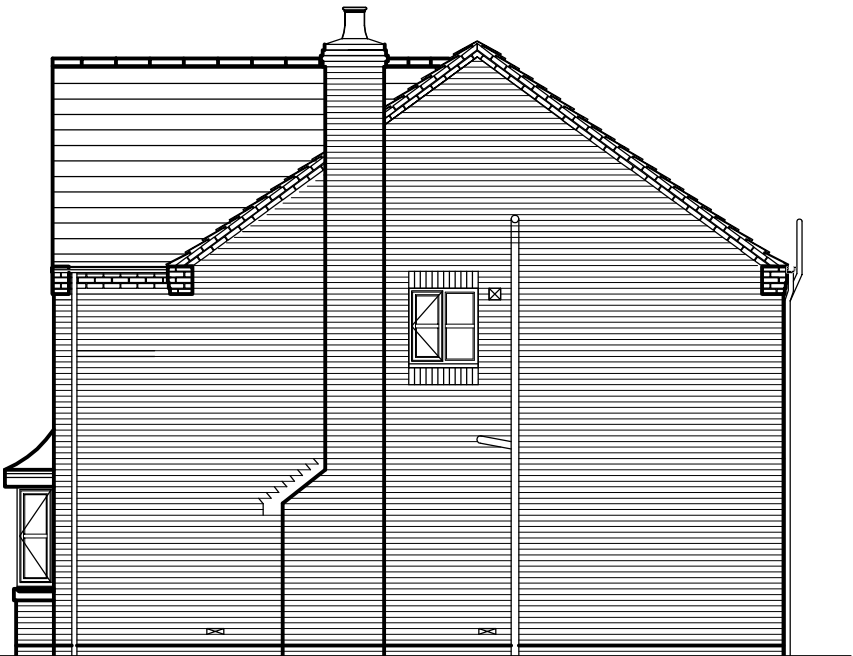


SIDE ELEVATION

Brick on edge soldier
course detail



REAR ELEVATION



SIDE ELEVATION

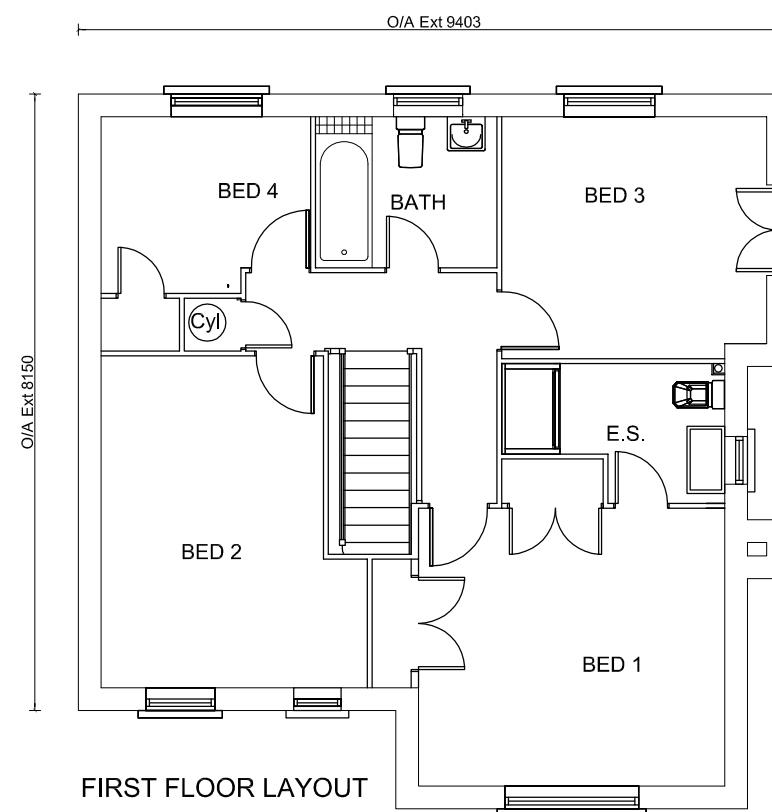
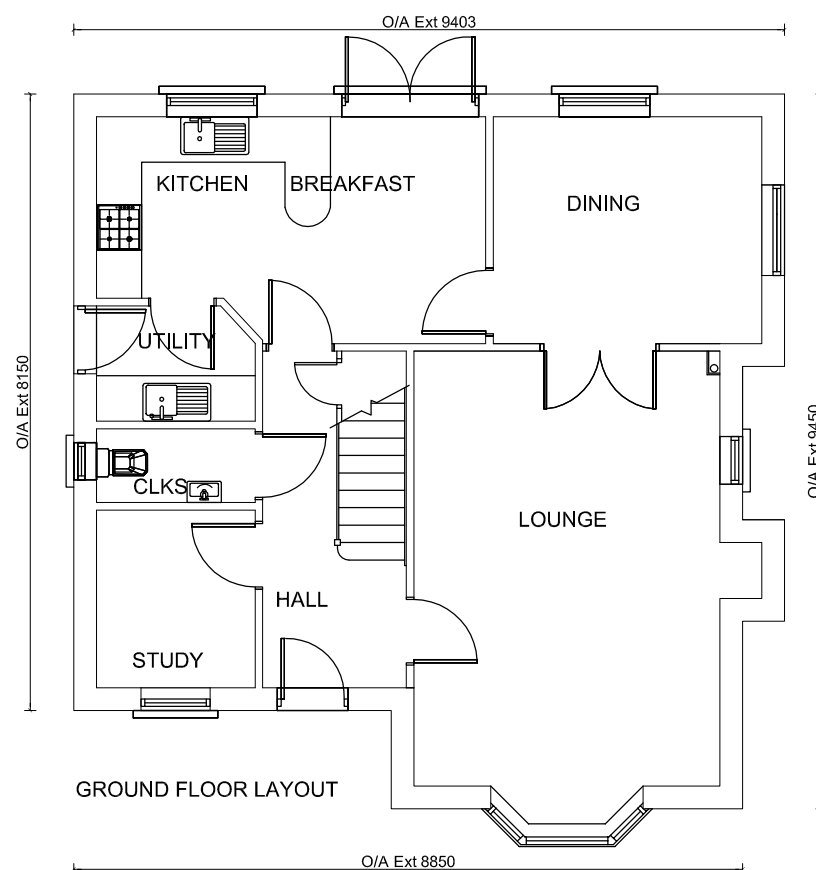
REV	DESCRIPTION	DATE	INIT

 Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845


Job Title
REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
WILLINGTON HOUSE TYPE
ELEVATIONS

date	drawn	checked	scale	dwg.no	rev
11/09/15	SJM		1:100 @ A3	N257/P/HTWIL/01	-



REV	DESCRIPTION	DATE	INIT

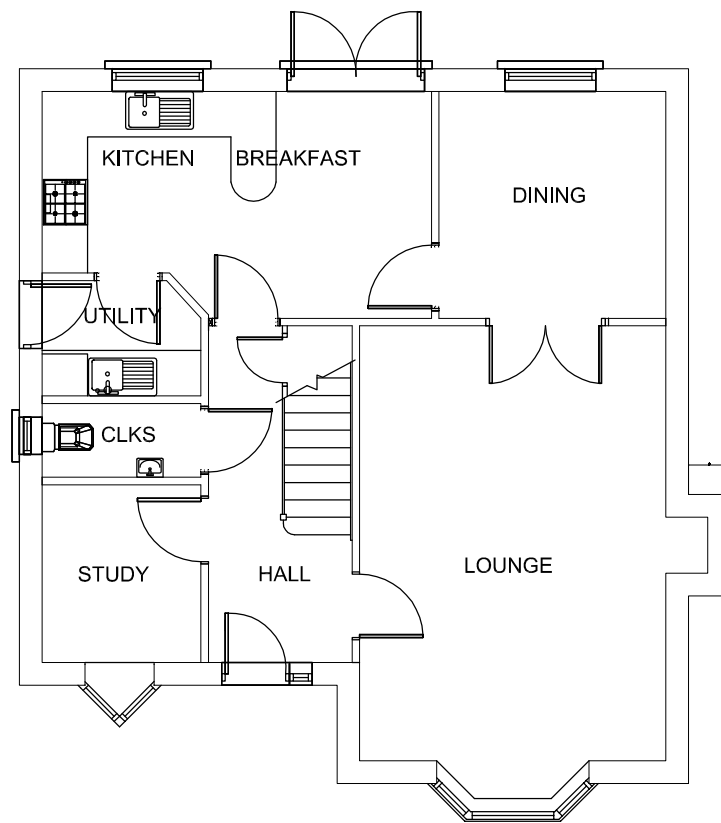


Morris Homes (Group) Limited
Morland House
Altrincham Road
Wilmslow
Cheshire SK9 5NW
Tel: (01625) 544 444
Fax: (0845) 833 1845

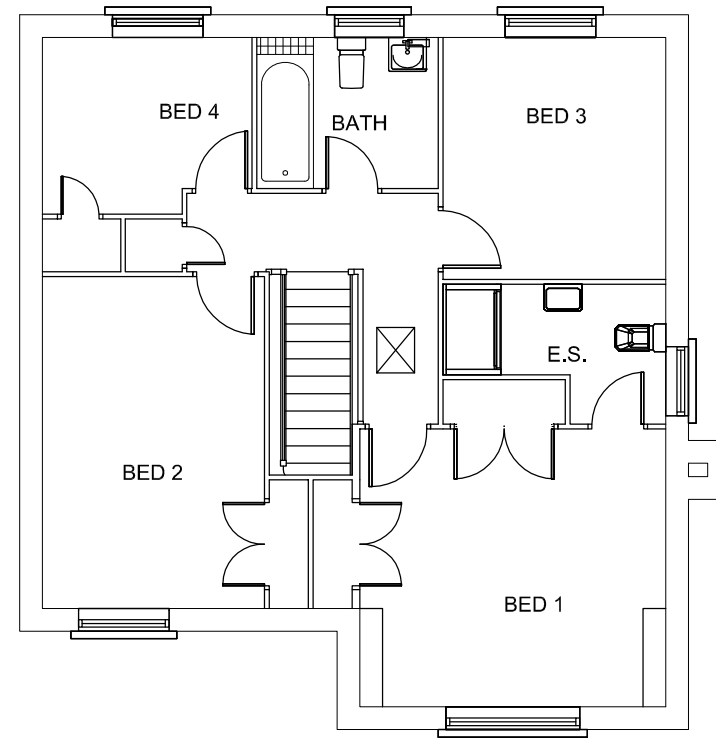
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REDISHER WORKS, HOLCOMBE OLD ROAD

Dwg. Title
WILLINGTON SIDE ASPECT HOUSE TYPE FLOOR PLANS


date	drawn	checked	scale	dwg.no	rev
11/11/15	SJM		1:100 @ A3	N257/P/HTWILSA/02	-



GROUND FLOOR PLAN



FIRST FLOOR PLAN

REV	DESCRIPTION	DATE	INIT		
<div><div></div><div><div>Morris Homes (Group) Limited</div><div>Morland House</div><div>Altrincham Road</div><div>Wilmslow</div><div>Cheshire SK9 5NW</div><div>Tel: (01625) 544 444</div><div>Fax: (0845) 833 1845</div></div></div>					
<div>Job: Title</div> <div>REDISHER WORKS, HOLCOMBE OLD ROAD</div>					
<div>Dwg. Title</div> <div>WILLINGTON HOUSE TYPE FLOOR PLANS</div>					
date	drawn	checked	scale	dwg.no	rev
11/09/15	SJM		1:100 @ A3	N257/P/HTWIL/02	-

Ward: Radcliffe - East

Item 03

Applicant: Eventmore Limited

Location: 17-21 Bury Street, Radcliffe, Manchester, M26 2GB

Proposal: Conversion to form 4 no. shop units and 3 no. flats together with new shop fronts

Application Ref: 59983/Full

Target Date: 01/07/2016

Recommendation: Approve with Conditions

Description

The application relates to a currently vacant commercial building (371sqm) between the Methodist Primary School and Church on Bury Street. Originally the Radcliffe and Pilkington Co-operative Society, it was used as various retail outlets including a carpet shop and beauty salon. The building has been vacant for over 5 years. There are terraced houses to the west, across Bury Street and as already mentioned, Radcliffe Hall Methodist Primary School is situated to the west and north. The church is immediately to the east. There is a small informal car park on Store Street adjacent to the north-west elevation. There is a small enclosed yard at the side/rear which is accessed from Bury Street down the east side of the property.

The application seeks permission to refurbish and the convert the commercial property to form three individual shops on the ground floor with two 1-bed apartments at the rear and within the roofspace. The scheme also includes a new full height glazed/aluminium framed shop front. No on-site parking spaces are proposed.

The following opening hours are proposed.

Monday - Friday 0900 - 1730 hrs

Saturday 1000 - 1600 hrs

Sundays Closed.

Relevant Planning History

None relevant.

Publicity

The following 19 neighbours were notified by letter dated 06/05/16. 28 - 48(even) Bury Street, Bury Street Mill, 2 - 6 Tithebarn Street, C of E Methodist Primary School and Church Bury Street.

One letter of objection has been received from an unidentified Bury Street resident and concerns are summarised:

- Opening hours on the application form are unsociable.
- If the shop units become takeaways, they will increase disturbance and anti-social behaviour.
- There are enough convenience stores in the area.
- Lights will cause problems.
- The immediate area is an accident blackspot and this development will increase problems with no on-site parking.

The person(s) making the representation has not been notified of the Planning Control Committee as they did not give their address.

Consultations

Traffic Section - No objection subject to traffic measures, required by condition.

Drainage Section - No objection.

Environmental Health - No objection.

United Utilities - No objection.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
EN1/5	Crime Prevention
EN1/8	Shop Fronts
EN7/2	Noise Pollution
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
H2/4	Conversions
S2	Control of New Retail and Non-Retail Development
S2/1	All New Retail Proposals: Assessment Criteria
HT2/4	Car Parking and New Development
HT5/1	Access For Those with Special Needs
SPD3	DC Policy Guidance Note 3: Planning Out Crime
SPD15	Residential Conversions
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury
NPPF	National Planning Policy Framework
HT6/2	Pedestrian/Vehicular Conflict
EC4/1	Small Businesses
S2/5	New Local Shopping Provision

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - As the scheme includes the provision of flats, the proposal enables development to be directed towards the urban area avoiding the need to release peripheral open land. The development therefore complies with Policy H1/2 - Further Housing Development. Given its former retail use, together with the lengthy vacancy period, the proposed mixed retail residential development is acceptable as it would bring the building back into productive use within the locality.

Visual amenity - The building is a prominent former Co-op building, and whilst it is currently vacant, without investment, the building would only become more unsightly, thereby presenting a negative image within the streetscape. The proposal would allow the property to be brought back into beneficial use whilst retaining its character and improving the visual amenity of the immediate locality. The new shop fronts would comprise full height aluminium framed windows which would give a modern appearance whilst maintaining the clean and simple lines of the original building and retain the characteristic tiled fascia with the 'Radcliffe and Pilkington Co-Operative Society Ltd' lettering. The proposed security shutters on the frontage would be subject to an appropriate condition would require them to be black powder coated brick bond style. In terms of visual amenity, the proposal is acceptable and complies with UDP Policy EN1/2 Townscape and Built Design.

Residential amenity - Given the history of the site, the property, with three individual units, could be used for retail without planning permission and therefore without restrictions on

hours of opening. Also, given that the nearest residential properties are across the reasonably busy road, the proposal, with restrictions on opening hours, would not have a significantly detrimental impact on the residents in the immediate area. A condition restricting the opening hours to 0830hrs to 1800hrs Monday to Saturday only.

Parking and access - The application states that parking is not proposed due to restrictions of the site and given that the two apartments are small single bed units, this would not have a significant impact on traffic or parking. Given that the building was last used for retail, and the proposed new shop units would cater primarily for local needs where people in the locality are likely to walk up to the units, the lack of parking is not considered to be so serious a problem.

There are traffic restrictions along this part of Bury Road which would help prevent unauthorised parking in front of the units. Given the restrictions and the existing use of the building, proposal would not have a seriously adverse impact on highway or pedestrian safety and as such the traffic section has no objections to the scheme.

The pedestrian access to the apartments would be via the footway at the side of the premises and this is considered acceptable subject to an appropriate lighting and security measures to be implemented prior to occupation of the residential units.

Servicing - The refuse storage areas for the shop and apartments would be separate. This arrangement, with suitable lighting and security measures, secured by an appropriate condition, is considered to be acceptable.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

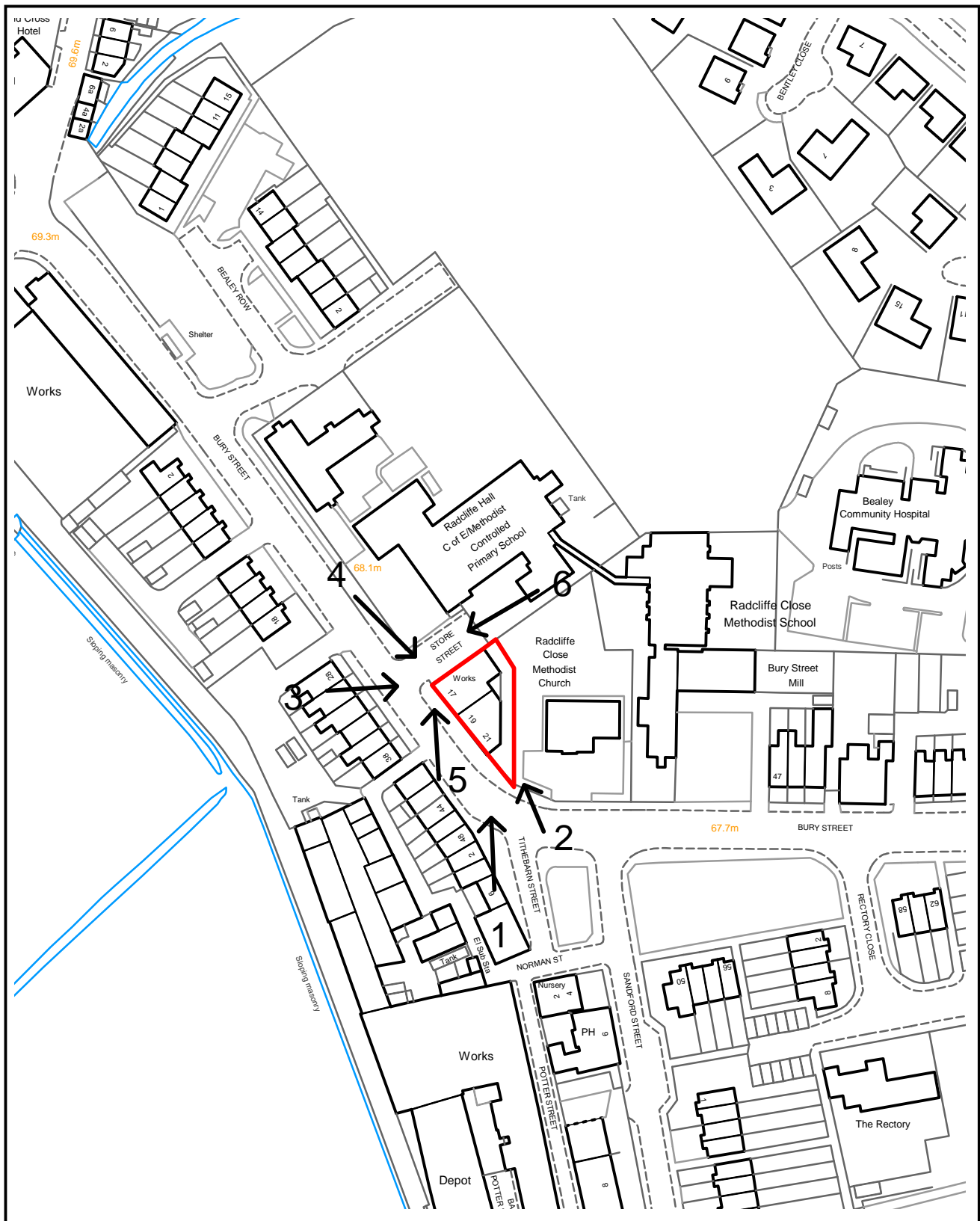
Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered HFS-0216-02A, 03, 04 and 0416-0 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details of the materials to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/2 Townscape and Built Design.

4. The proposed security shutters shall be black powder coated brick bond style with the proposed shutter boxes a minimum height of 2.4m from the adjacent public footway.
Reason. In the interests of visual amenity and pedestrian safety pursuant to UDP Policies EN1/2 Townscape and Built Design, EN1/8 Shop Fronts and HT2 Highway Network.
5. The existing and original tiled fascia surround to the side and above the shop front shall be retained in situ to the satisfaction of the Local Planning Authority.
Reason. In order to retain the historic/original character of the shop front in the interests of visual amenity pursuant to UDP Policy EN1/2 Townscape and Built Design and EN1/8 Shop Fronts.
6. The retail units shall not be open to customers outside the following times:
0830 - 1800hrs Monday to Saturday.
Closed on Sundays.
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to UDP Policies S2/5 – New Local Shopping Provision Outside Recognised Shopping Centres, EN7/2 Noise Pollution and EC4/1 Small Businesses.
7. Prior to first occupation of the residential units hereby approved, a scheme to improve the lighting and security along the footpath adjacent to east side of the building shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be fully implemented before the first occupation of the residential units.
Reason. Details lighting and security measures were not submitted and in the interests of safety and security pursuant to UDP Policy EN1/5 Crime Prevention and associated guidance in SPD 3 Planning out Crime.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59983

**ADDRESS: 17-21 Bury Street
Radcliffe**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

59983

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



PARTITIONS AND LININGS:

- Non load-bearing timber stud partitions to be 100 x 60mm sw framing at 600mm c/c, 100mm mineral wool acoustic insulation between studs and 12.5mm plasterboard and skirting to both sides.
- Provide ev skirting

- Provide new lining to external walls with 90mm Celotex PL4000 insulation and 12.5 plasterboard composite boards

ROOM VENTILATION:

- Provide mechanical extract ventilation at the following rates:- 60l/s in Kitchen (or 30l/s if incorporated with cooker hood); 30l/s in Utility room; 15l/s in Bedrooms and 15l/s in WC's without windows. Fans to bedrooms to be centrifugal type extracted manually and with hum-dwell.

HEATING:

- Provide new domestic hot water and space heating system incorporating new combination boiler with a balanced flue (location tbc) and new pressed steel radiators with thermostatic valves, in positions shown. Fans to bedrooms to be centrifugal type extracted manually and with hum-dwell.

ELECTRICAL:

- Electrical installation to include new distribution board, light fittings, power sockets, television and telephone outlets, and security system throughout.

- All switches and sockets to be installed in habitable rooms are to be between 450mm and 1300mm above floor level.

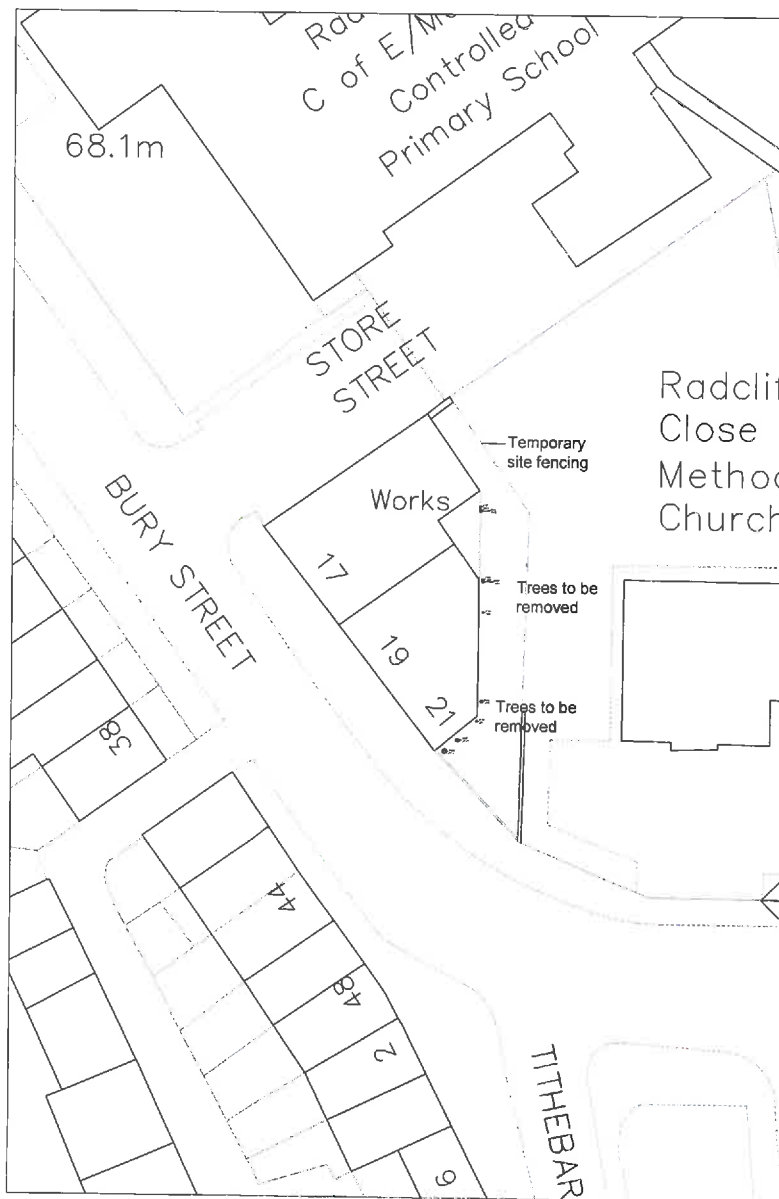
- All electrical work must be carried out to meet the requirements of Building Regulations Part P by a person competent to do so. Prior to completion either an electrical installation certificate issued under an Approved Competent Person Scheme, or an electrical installation certificate signed by a person competent to do so, should be provided to Building Control.

HEATING AND ELECTRICAL:

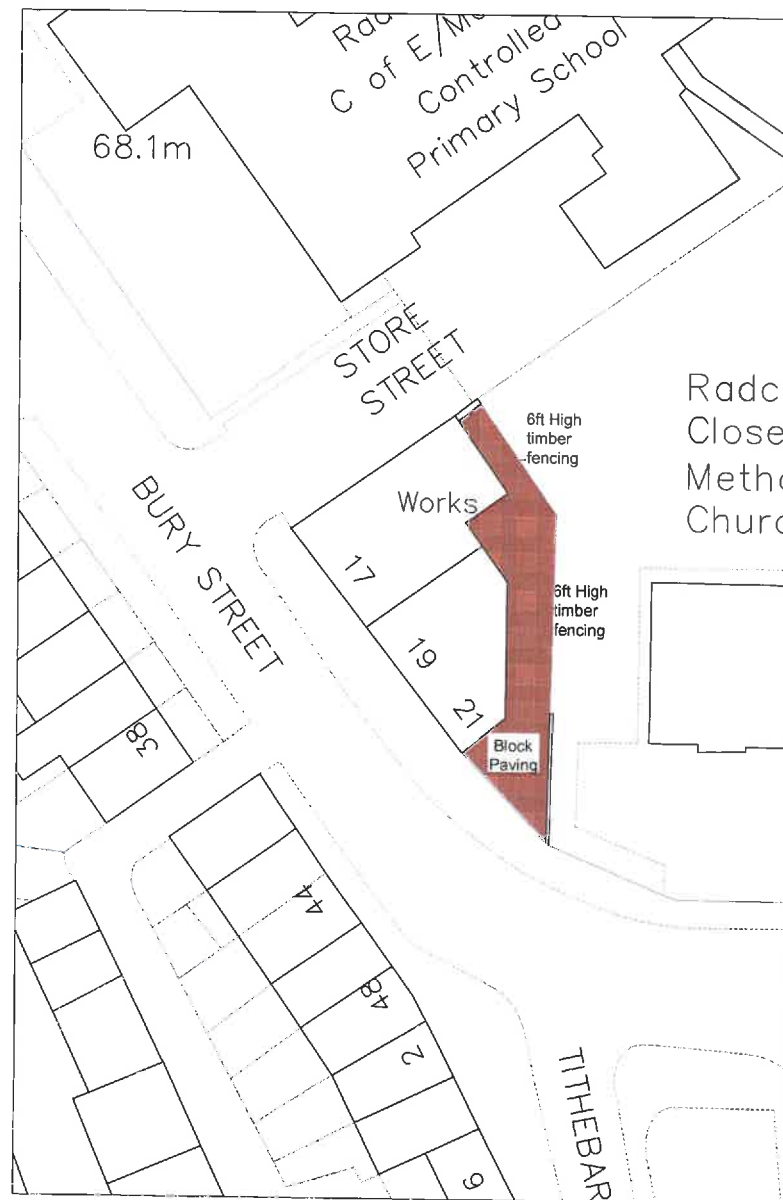
- Refer to Mechanical and Electrical engineers details

FIRE PRECAUTIONS:

- Provide self contained smoke alarms where indicated SA, all interconnected and wired into mains consumer unit on a separate fuse circuit.



As Existing Site Plan at 1:200 on A1



As Proposed Site Plan at 1:200 on A1

PLANNING

HFS ARCHITECTURAL SERVICES, PH 0161 870 6007

NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS
2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION
3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED. LEVELS ARE IN METRES A.O.D.

4. ALL DIMENSIONS ARE TO BE CHECKED ON SITE BY THE CONTRACTOR/SUB-CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
5. DO NOT SCALE. CONTRACTOR TO CHECK ALL DIMENSIONS, DRAWING SUBJECT TO DETAIL DESIGN.

THIS DRAWING IS INDICATIVE AND FOR DESIGN INTENT PURPOSES.

ALL LEVELS ARE INDICATIVE AND SUBJECT TO DETAIL DESIGN AND FINAL CONSTRUCTION.

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THIS DRAWING SHALL NOT BE USED TO ASCERTAIN DIMENSIONS. CONTRACTOR/SUB-CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ANY ANOMALIES AND/OR OMISSIONS OR ERRORS.

DIMENSIONS INDICATED ARE IN MILLIMETRES UNLESS OTHERWISE STATED.

IN ADDITION TO OTHER RELEVANT ARCHITECTURAL DRAWINGS AND SPECIFICATIONS, THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FOLLOWING DRAWINGS AND DOCUMENTS.

ALL RELEVANT STRUCTURAL ENGINEERS' SPECIFICATION AND DRAWINGS AS APPLICABLE FOR ALL SUBSTRUCTURE AND SUPERSTRUCTURE WORKS' REQUIREMENTS.

ALL RELEVANT M & E SERVICES ENGINEERS' SPECIFICATIONS AND DRAWINGS AS APPLICABLE FOR ALL MECHANICAL AND ELECTRICAL SERVICES WORKS' REQUIREMENTS.

INTERNAL WALL CONSTRUCTION

LOAD-BEARING WALLS COMPRISING:
95 x 47mm TREATED SWY FRAMING AT 600mm C/Cs WITH 8mm OSB PLYWOOD WHERE STRUCTURALLY REQUIRED, 20mm MINIMUM ACoustic QUIET AND LAYER OF 12.5mm PLASTERBOARD (100mm) TO EACH SIDE. ALL JOINTS TO FORMER BOARD, AND BETWEEN BOARDS, TO BE WELL SEALED.

NON-LOAD-BEARING STUDWORK WALLS COMPRISING:
75 x 47mm TREATED SWY FRAMING AT 600mm C/Cs, 80mm ACoustic QUIET AND LAYER OF 12.5mm PLASTERBOARD (100mm) TO EACH SIDE. ALL JOINTS TO FORMER BOARD, AND BETWEEN BOARDS, TO BE WELL SEALED.

ALL WALLS TO BE FIRE-STOPPED TO UNDERSIDE OF ROOF AS ALL STUDWORK WALLS TO HAVE 25mm MINIMUM 1 HOUR DEFLECTION HEAD IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
ALL BOARD JOINTS TO BE FILLED, TAPED AND BROWNED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

STRUCTURAL REQUIREMENTS

ALL AND ANY STRUCTURAL ALTERATIONS TO STRUCTURAL ENGINEERS DETAIL / DESIGN, TO BE SUBMITTED TO LOCAL AUTHORITY BY STRUCTURAL ENGINEER, 28 DAYS MINIMUM BEFORE WORK COMMENCES ON SITE.

ALL STRUCTURAL CALCULATIONS AND DETAILS, TO BE SUBMITTED FOR APPROVAL TO LOCAL AUTHORITY BY STRUCTURAL ENGINEER, 28 DAYS MINIMUM BEFORE WORK COMMENCES ON SITE.



PLANNING

H.F.S.
Architectural
Services

Client:
Eventmore

Project Title:
Shop Partitioning
17-21 Bury Street
Radcliffe
M20 2GB

Drawing Title
As Existing & Proposed Site Plans

DWG No. **HFS-0216-04**

Drawn By: FT Scale: 1:200 @ A1
Checked, Confirmed: Date: 07/04/2016
and Approved By:

IF ANY DISCREPANCY IS FOUND, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING IT. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND LEVELS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND LEVELS ON SITE.

PARTITIONS AND LININGS:

- Non load-bearing timber stud partitions to be 100 x 50mm sw framing at 600mm c/c; 100mm mineral wool acoustic insulation between studs; and 12.5mm plasterboard and skim to both sides.
- Provide sw slitting

ROOM VENTILATION:

- Provide mechanical extract ventilation at the following rates: 500s in Kitchen (or 300s if incorporated within cooker hood); 300s in Utility room; 150s in Bathroom and En-suite; 60s in VCs without windows. Fans to bedrooms to be centrifugal type activated manually and with humed switch.

HEATING:

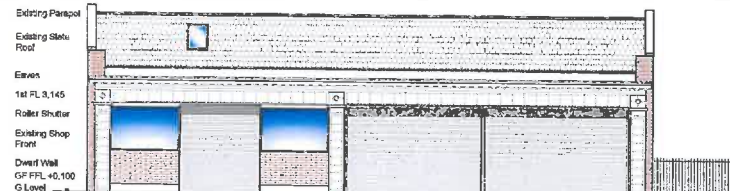
- Provide new domestic hot water and space heating system incorporating new combination boiler with a balanced flue (location to be), and new pressed steel radiators with thermostatic valves, in positions shown. Provide in-line thermostatic mixing valve to new bath.

ELECTRICAL:

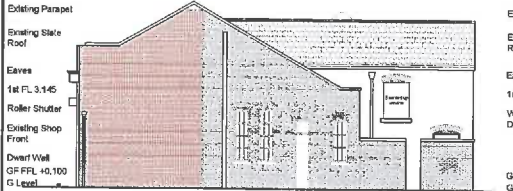
- Electrical installation to include new distribution board, light fittings, power sockets, television and telephone outlets, and security system throughout.
- All switches and sockets to be installed in habitable rooms are to be between 450mm and 1200mm above floor level.
- All electrical work must be carried out to meet the requirements of Building Regulations Part P by a person competent to do so.



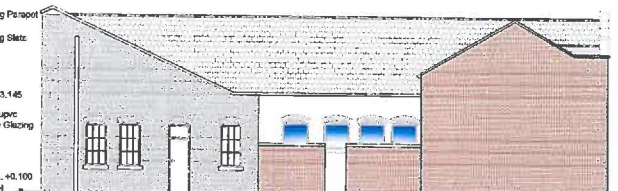
As Existing Side Elevation



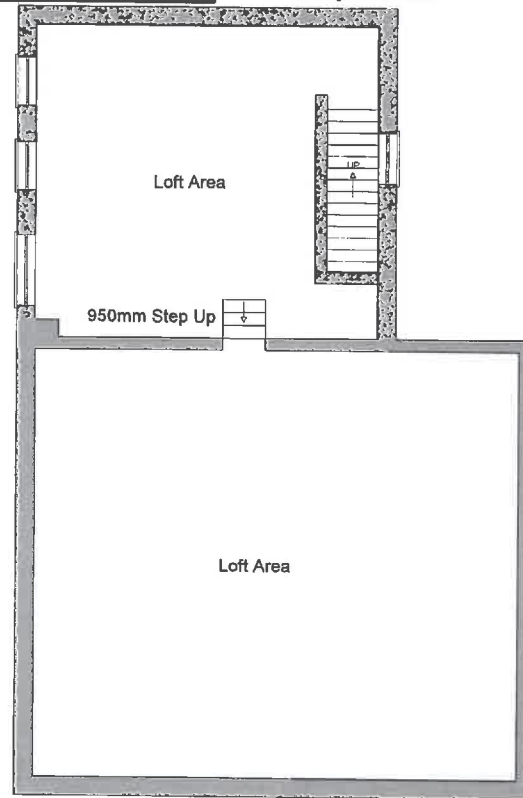
As Existing Front Elevation



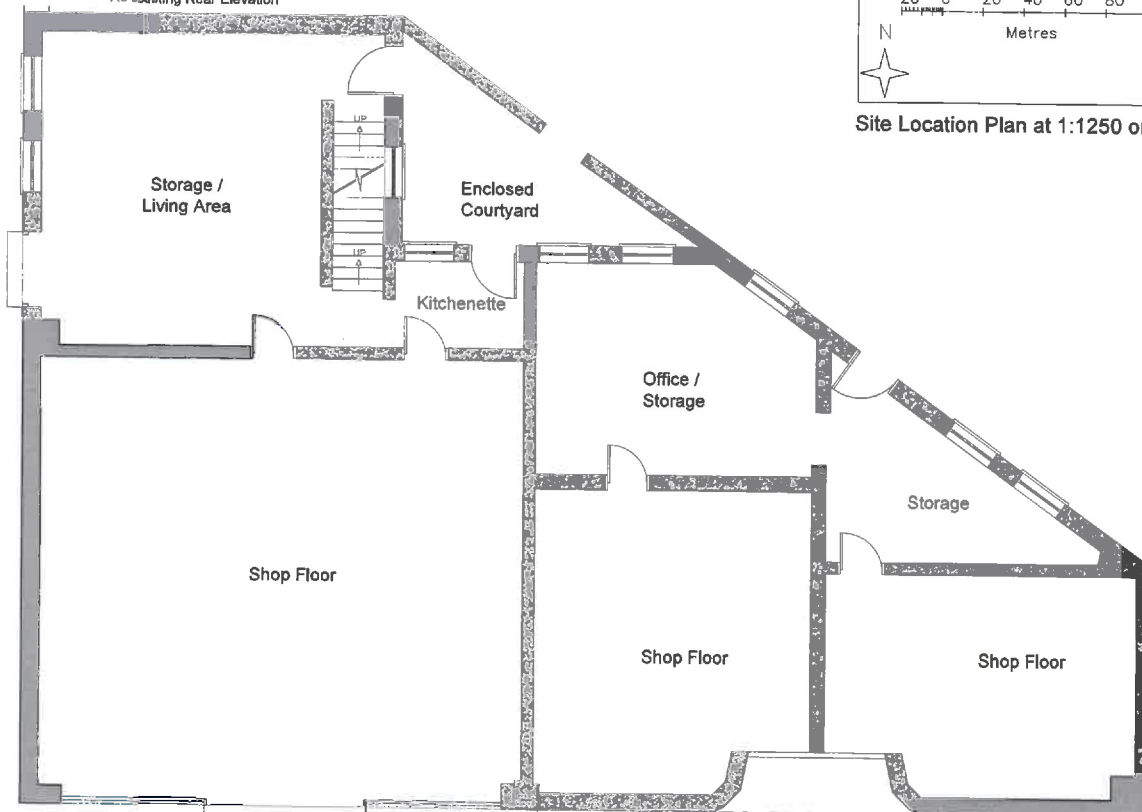
As Existing Side Elevation



As Existing Rear Elevation



As Existing First Floor Plan at 1:50



As Existing Ground Floor Plan at 1:50



Site Location Plan at 1:1250 on A1

NOTES

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ALL RELEVANT M.E.B. SERVICES ENGINEERS' SPECIFICATIONS AND DRAWINGS AS APPLICABLE FOR ALL MECHANICAL AND ELECTRICAL SERVICES WORK. REQUIREMENTS.

INTERNAL WALL CONSTRUCTION

LOAD-BEARING WALLS COMPOSING:

16 x 47mm TREATED SW FRAMING AT 600mm C/C WITH 8mm OSB PLYWOOD WHERE STRUCTURALLY REQUIRED. 50mm MINIMUM ACoustic GUTY AND LAYER OF 12.5mm PLASTERBOARD (12.5mm) TO EACH SIDE. ALL JOINTS TO PERIMETER BOARDS, AND BETWEEN BOARDS, TO BE WELL SEALED.

NON-LOAD-BEARING STUDYWORK WALLS COMPOSING:

70 x 47mm TREATED SW FRAMING AT 600mm C/C. 50mm ACoustic GUTY AND LAYER OF 12.5mm PLASTERBOARD (12.5mm) TO EACH SIDE. ALL JOINTS TO PERIMETER BOARDS, AND BETWEEN BOARDS, TO BE WELL SEALED.

ALL WALLS TO BE FIRE-STOPPED TO UNDERSIDE OF ROOF AS ALL STUDYWORK WALLS TO HAVE 25mm MINIMUM 1 HOUR DEFLECTION HEAD IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

ALL BOARD JOINTS TO BE FILLED, TAPED AND BRANED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

STRUCTURAL REQUIREMENTS

ALL AND ANY STRUCTURAL ALTERATIONS TO STRUCTURAL ENGINEERS DETAIL / DESIGN, TO LOCAL AUTHORITY BY STRUCTURAL ENGINEER, 28 DAYS MINIMUM BEFORE WORK COMMENCES ON SITE.

ALL STRUCTURAL CALCULATIONS AND DETAILS TO BE SUBMITTED FOR APPROVAL TO LOCAL AUTHORITY BY STRUCTURAL ENGINEER, 28 DAYS MINIMUM BEFORE WORK COMMENCES ON SITE.

PLANNING

H.F.S Architectural Services

Client:
Eventmore

Project Title:
Shop Partitioning
17-21 Bury Street
Redcliffe
M26 2GB

Drawing Title:
As Existing Plans & Elevations

DWG No. HFS-0216-02

Drawn By: FT Scale: 1:50 / 1:100 @ A1

Checked, Confirmed and Approved By: Date: 28 / 02 / 2016

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PLANNING

HFS ARCHITECTURAL SERVICES, PH 0161 870 6007

PARTITIONS AND LININGS:

- Non load-bearing timber stud partitions to be 100 x 50mm sw framing at 600mm c/c, 100mm mineral wool acoustic insulation between studs, and 12.5mm plasterboard and skim to both sides.
- Provide sw slittings

ROOM VENTILATION:

- Provide mechanical extract ventilation at the following rates: 50l/s in Kitchen (or 30l/s if incorporated with cooker hood), 30l/s in Utility room, 15l/s in Bathrooms and En-suites, 6l/s in VICs without windows. Fans to bathrooms to be centrifugal type activated manually and with humidity switch.

HEATING:

- Provide new domestic hot water and space heating system incorporating new combination boiler with a balanced flue (location TBC), and new pressed steel radiators with thermostatic valves, in positions shown. Provide in line thermostatic mixing valve to new bath.

ELECTRICAL:

- Electrical installation to include new distribution board, light fittings, power sockets, television and telephone outlets, and security system throughout.
- All switches and sockets to be installed in habitable rooms are to be between 450mm and 1200mm above floor level.
- All electrical work must be carried out to meet the requirements of Building Regulations Part P by a person competent to do so.

Slate roof

Eaves

White UPVC Double Glazing

1st FL 3.145

Existing Brickwork

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Rear Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Side Elevation

Existing Parapet

Existing Slate Roof

Eaves

1st FL 3.145

Roller Shutter

New Aluminium Shop Front

New Dwarf Wall

GF FFL +0.100

G Level

As Proposed Front Elevation

Existing Parapet

Existing Slate Roof

Eaves

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New Dwarf Wall

GF FFL +0.100

Ward: Radcliffe - North

Item 04

Applicant: Mr David Morris

Location: Garage site at land between 18 & 24 Bradley Fold Road, Ainsworth, Bolton, BL2 5QD

Proposal: Outline - 1 no. detached dwelling with details of access, layout and scale

Application Ref: 59997/Outline Planning
Permission

Target Date: 28/06/2016

Recommendation: Approve with Conditions

The Development manager has requested a site visit prior to the Planning Control Committee meeting.

Description

The application relates to an existing garage colony site which currently accommodates 5 garages in total. It is located within a residential area at the end of a row of terrace properties. No 18 Bradley Fold Road is directly adjacent to the garage colony separated by a narrow gap of approximately 0.4m, and has a slate hung gable end. No 24 Bradley Fold Road to the south, is separated from the site by a dwarf brick wall and privet hedge and an access track that runs to the rear of the terrace row.

Access to the garages is via an unadopted and unmade road which leads to the rear of the terrace row, beyond which is a Grade II Listed Church and its grounds. There is an established hedge and mature tree planting along the eastern boundary and a set of access gates into the church.

The application seeks the redevelopment of the site for a single detached dwelling. The application has been submitted as outline with reserved matters approval sought for access, scale and layout. Approval for appearance and landscaping would be submitted at a later date as part of a separate Reserved Matters application.

The development would utilise the existing access off Bradley Fold Road, with one parking space at the rear. The dwelling would follow the same building lines at the front and rear as the adjacent row of terrace houses with part of the front elevation set back to create an 'L' shape configuration so that the front of the property is no wider than its neighbouring properties. . A gap of 0.4m would be retained to the side elevation of No 18. There would be a small garden and path at the front, and larger garden area at the rear.

Relevant Planning History

None relevant

Publicity

20 Letters sent on 4/5/2016 to properties at 1-17 (odds) 12- 30 (evens) Bradley Fold Road; 18, 20 Rosebank Close; Christ Church, Church Street.

Five letters of objection received from Nos 11, 18 Bradley Fold Road, No 15 Claydon Drive, and one addressee with a Bolton postcode with the following issues:

- The land is needed for parking and access for bin lorry to the church yard;
- Where would the telegraph pole be moved to?
- The back to front 'L' shape house is not in keeping with the rest of the village and would

be unsightly from the frontage and gable end view and will harm the character and appearance of the historic village;

- Bradley Fold Road is a busy bus route with school traffic and heavy goods;
- One parking space is less than the minimum. The Ainsworth Village Design Statement advocates new development should cater for a minimum of 2 spaces - and should be within the curtilage of the property;
- A previous freeholder was refused an additional garage due to access and visibility issues. The corner should be kept clear at all times to enable public to manoeuvre vehicles in the area, as presently done;
- There is a public right of way over the unadopted road to pass, re-pass, overtake and park vehicles on the land for over 130 years which is still being used for access to the churchyard, by residents, guests, refuse lorries, and workmen to nearby properties;
- The width of the unadopted road would be narrower to park, pass and re-pass as it is now;
- The plans do not show if 5.5m would be maintained along the whole unadopted road or narrow towards the church;
- The applicant proposes to narrow the unadopted road which would also restrict access to the parking space;
- This land at the moment helps to alleviate parking problems in the village, which would be worsened;
- Hedges and greenery fronting Bradley Fold Road were planted over 40 years ago to soften the appearance of the garages and have been tended by residents of No 18;
- The garages have been left to deteriorate over the last 2 years since the applicant bought the site. The applicant should be renovating the garages and leasing them to residents to alleviate parking problems in the future.
- Disagree with the applicant's Design and Access statement, as not all houses in the conservation area are stone built;
- The site of the proposed house is adjacent to No 18 which was built in 1882 and should be included in the Conservation Area and should be considered as such; Nos 16 and 18 stand out as a different age and design. With reference to para 133 of the NPPF, there would be a substantial harm and loss of a designated heritage asset and consent should be refused;
- All necessary measures and precautions should be taken to protect No 18 and its gable end;
- The Applicant only wishes to obtain outline permission to sell it on - the design is not a priority, would not enhance the character and appearance of the village and the openness and visibility of the church greenery from the roadside of the Green Belt would be lost to the villagers; reserved matters of design and landscaping should be included;
- As the land is adjacent to a Grade II Listed Building, near a conservation area, is on land that has rights of passage over 130 years, and is in the Green Belt, this should be taken into consideration;
- Require a site visit from Committee before any decisions are made.
- Committee should take into account the foundations of older properties when considering the distance to prevent irreparable damage. The LA should be accountable as they have been made aware of the pitfalls of the application.
- We have always had the right of access to maintain our gable end/wall with scaffolding and the bat report says our gable end needs regular maintenance to prevent bats, which confirms our need to have enough space to erect scaffolding for future maintenance;
- No.18 was built in 1882 of sand/lime construction (not cement). We're concerned about vibrations caused by construction work damaging our wall with the new build in such close proximity;
- Surprised an application has been submitted on Green Belt land for a house as there were assurances by the owner of intentions to refurbish the existing 5 garages & lease them out as has been the case for 60yrs. The open land between garages & No.24 is used for general off road parking for those visiting;
- Cannot believe the builder is even contemplating a new build next to such an old house with no regard to the damage it may cause this property;

- Spoil the character of such a lovely village and this will open the floodgate to more;
- No 18 began as a semi-detached house in the middle of fields - as seen on Ordnance Survey map 1893, and today is already unrecognisable, so why spoil it even more;
- The applicant is not taking seriously comments about the historical value of No 18 as there has been no effort to provide us with dimensions of the distance away from the gable end wall;
- If it goes ahead there should be special measures to keep a satisfactory distance to allow maintenance to No 18. maintenance of the wall can only be done by erecting scaffolding on top of the garages - this would not be possible on a 2 storey house;
- No 18 is part of Ainsworth's historical heritage but has been sadly missed off the conservation boundary by human error;
- How is a kitchen and bathroom in the front rooms in keeping with anything in Ainsworth/Bradley Fold Road;
- The building is much wider than it appears and would be a difficult corner for emergency vehicles, bin wagons and churchyard diggers to manoeuvre in 5.5m and would create traffic issues on Bradley Fold Road;
- The parking space would serve no purpose - its position is completely inappropriate;
- Previous owner was told that another garage could not be built which would obstruct the corner;
- The garages did not look like this in previous years and could be modernised and re-used again.

Ainsworth Community Association:

- The adjacent property, No 18 Bradley Fold Road is older than originally thought and should be awarded extra protection;
- Due to its age, No 18 is likely to have a simple pyramidal form of foundation and would require additional space and caution in installing a new foundation in its vicinity;
- The reduced access to the church gate and rear of other premises on Bradley Fold Road needs to be addressed.

Objection received from Councillor Briggs with the following issues:

- Not in keeping with the street scene;
- There are road traffic issues on Bradley Fold Road along with parking problems;
- Proximity between the new build and existing property at No 18 is cause for concern for damage to the building and foundations;
- Access to the church yard is also via this stretch of land - there are issues with bin collections from the church and the row of terrace properties.

Following comment received from the Parochial Church Council of Christ Church Ainsworth:

- Concern is expressed regarding the effect the development would have on the available width of the access road from Bradley Fold Road to the rear gates of the churchyard;
- this is the only access for mechanical equipment etc that is to be used by gravediggers, stone masons and tree surgeons;
- It is requested that a condition be imposed ensuring the width of the access road is not reduced or impeded in any way.

Those who have made representations have been informed of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions.

Drainage Section - Response not received. Standard drainage condition included.

Environmental Health Contaminated Land - No objection subject to conditions

United Utilities (Water and Waste) - No objection.

Greater Manchester Ecology Unit - No objection subject to conditions and informatives.

Waste Management - No issues.

Unitary Development Plan and Policies

NPPF	National Planning Policy Framework
H1/2	Further Housing Development
H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN9/1	Special Landscape Areas
OL1	Green Belt
OL1/2	New Buildings in the Green Belt
OL7/1	East Lancashire Paper Mill Water Catchment Area
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD11	Parking Standards in Bury

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Green Belt - Under paragraph 89 of the NPPF, new buildings in the Green Belt are regarded as inappropriate development unless it falls within one of the listed exceptions which includes limited infilling of previously developed land.

UDP Policy OL1/3 - Infilling in Existing Villages in the Green Belt, may permit limited infill development provided that it is in scale with the village and would not adversely affect its character or surroundings.

The proposal is considered to be acceptable in principle as it would involve limited infilling of previously developed land. The plans demonstrate that the footprint of the dwelling would be similar in scale to the surrounding properties. A two storey dwelling of the same height, roof pitch and eaves level would also reflect the scale and character of the houses in the surrounding area. Detail relating to design and appearance would be subject to further approval being sought at Reserved Matters stage to allow further assessment.

As such, it is considered that on the information provided, it has been successfully demonstrated that a dwelling could be accommodated on the site without a detrimental impact on the openness and character of the Green Belt, and which would accord with the principles of Paragraph 89 of the NPPF and UDP Policy OL1/3.

Principle - Housing - Following revocation of the North West Regional Strategy on 20th May 2013, there is no statutory housing target for Bury. Work has commenced on the Greater Manchester Spatial Framework and this will bring forward a new statutory housing target for the Borough. This will subsequently be incorporated into Bury's future Local Plan.

In the meantime, the National Planning Policy Framework should be treated as a material planning consideration and it emphasises the need for local planning authorities to boost the supply of housing to meet local housing targets in both the short and long term. There is a particular emphasis, as in previous national planning guidance, to identify a rolling five year supply of deliverable land.

UDP Policy H1/2 states that the Council will have regard to various factors when assessing a proposal for residential development, including whether the proposal is within the urban area, the availability of infrastructure and the suitability of the site, with regard to amenity, the nature of the local environment and the surrounding land uses.

UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The development would be located within an established residential area and would therefore not conflict with the local environment in terms of character and surrounding land uses. There is existing infrastructure in place to facilitate the single dwelling and the scale of the proposal is such that it would not result in the over development of the site.

As such, the principle is considered acceptable and would be in compliance with the NPPF and UDP Policies H1/2, H2/1, H2/2 and H2/6.

Loss of the garage colony - Of the 5 garages which are on the site, the applicant states that only one is in use. The garages do not appear to be well maintained, and are showing signs of deterioration. The scale of the garage colony is such that it does not provide a substantial amount of off road parking, and as there are no parking restrictions in the area., residents tend to park on the street outside their houses. As such, it is considered that the loss of the garage colony would not cause significant parking problems in the locality and the redevelopment of the site would be acceptable in principle.

Heritage and Conservation Area - The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 under s72 imposes a duty upon Local Planning Authorities that special attention be paid to the desirability of preserving or enhancing the character and appearance of Conservation Areas. Whilst the site is not within such a designated area, the site adjoins such an area.

Chapter 12 of the NPPF - Conserving and enhancing the historic environment seeks to ensure that Local Planning Authorities provide positive strategies with regards to development within an historic environment.

In paragraph 131, in determining planning applications, Local Planning Authorities should take account of:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- the desirability of new development making a positive contribution to local character and distinctiveness.

Paragraph 132 - When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting.

Paragraph 133 - Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, Local Planning Authorities should refuse

consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and
- the harm or loss is outweighed by the benefit of bringing the site back into use.

EN2/1 - Character of Conservation Areas and EN2/2 - Conservation Area Control seek to preserve or enhance the character and appearance of these areas. Development will only be acceptable if it preserves or enhances these areas with regard to the nature of the development in terms of bulk, height, materials, design, relationship to the surrounding area, and impact of a new use on the character of the surrounding area. Proposals where appropriate should seek to implement measures to retain, replace, restore features of architectural interest, retain and enhance landscaping features, promote environmental enhancement and promote design guidelines to ensure sympathetic development.

EN2/3 - Listed Buildings seeks to actively safeguard the character and setting of Listed Buildings by not permitting works, alterations or changes of use which would have a detrimental effect on their historical or architectural character and features.

Whilst the site is not in the Conservation Area, it is directly adjacent to it, the boundary of which runs beyond the rear of the garage site and alleyway, and encompasses Christ Church and its burial ground, directly to the west of the site. The Church is Grade II Listed and the Ainsworth Conservation Area Appraisal and Management Plan notes the importance of the Church, with mature trees, memorials, walls, gates and railings also cited as key features of the Conservation Area.

The adjacent row of terrace properties, Nos 2-18 Bradley Fold Road are outside the Conservation Area. However, Nos 16 and 18 Bradley Fold Road were the first houses to be built on this row in 1882 which is clearly shown on the 1893 Ordnance Survey map. They have remained largely unchanged, and as such are considered to be heritage assets. (The remaining terrace row was constructed sometime after).

Given the relationship of the new dwelling to Nos 16 and 18, its close proximity to the Conservation Area and Grade II Church, regard is given to the impact of the proposed development on the heritage importance of the area.

Whilst the application does not detail the elevational appearance of the new dwelling, the proposal has been revised to include scale in terms of height, roof pitch and eaves level to ensure that the development would reflect those key elements of the adjacent houses. The front elevation also shows a set back to replicate the width and massing of the 2 adjacent terraces. The design amendments now demonstrate that the dwelling would marry well with the adjacent properties rather than dominating or overwhelming the site and its surroundings.

The dwelling would not project any closer to the conservation area than the existing garages or houses and as such in terms of its siting and position, is also considered not to conflict with the position or stature of the Grade II Listed Church and its grounds.

The dwelling would replace a row of garage units which have become neglected and degenerated over time. They do not contribute any significant value in terms of visual appearance or heritage value, and their removal is considered not to harm the character of the conservation area.

As such, it is considered that the scale, massing and layout of the proposed dwelling would preserve the architectural or historical character of the adjacent Listed Building, and would

continue to preserve the special character of the Conservation Area, and is therefore considered to comply with the NPPF and UDP Policies EN2/1, EN2/2 and EN2/3.

Layout - The dwelling would be sited wholly within the applicant's land ownership, adjacent to No 18 Bradley Fold Road, leaving a gap of approximately 0.4m between the two properties. It would be located on the same building line and at a comparable depth as the existing row of terrace properties.

A small garden and pathway to the main entrance would be provided at the front, and a garden at the rear. Due to the position of the parking spaces, the rear garden would have a depth of 5m, which is less than the 7m generally sought. This is usually to safeguard from any overlooking to properties at the rear. As there is a church and grounds to the rear, there would be no privacy or overlooking issues to residential properties. The garden would be 8.4m wide and as such amenity provision is considered to be acceptable.

The plans demonstrate that the proposed development could be accommodated within the site area without compromise to either future occupiers or the surrounding area and would comply with H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development.

Scale - The proposed dwelling would be 2 storey in height, and maintain the same roof pitch, ridge and eaves levels as the adjacent row of terrace properties.

The principal front elevation would be similar in width to the adjacent row of terrace properties, and project rearwards in line with the original elevations of these houses. Part of the front elevation would be set back to form an 'L' shape, so as not to appear incongruous from the street scape.

Although appearance does not form part of this outline application, the plans demonstrate that a slate roof and red brick elevations would reflect those of the houses in the surrounding area. These can be conditioned as a pre-requisite should the development be approved.

As such, the scale of the proposed dwelling is considered to be in keeping with the form and massing of the area and the adjacent row of terrace houses, and therefore is considered to be acceptable and comply with UDP Policies H2/1, EN1/2 and EN2/2.

Access - The existing access road to the site would be utilised, maintained at a width of 5.5m. Access to the rear of the adjacent row of terraced houses and the church and grounds would also be retained. The layout plan shows that one parking space could be satisfactorily provided to the rear of the dwelling, with sufficient room to manoeuvre in and out of the space and onto the highway.

It is considered that a single dwelling would not generate significant levels of additional traffic or create highway safety issues to the area, particularly as the site has an existing garage use, which could potentially generate considerably more traffic.

The highway's Section have raised no objection to the proposals, subject to conditions and as such, the proposal is considered to be acceptable and comply with UDP Policies H2/2 - The Layout of New Residential Development and HT2/4 - Car Parking and New Development.

Ecology - An Ecology Report has been submitted with the application and GMEU have been consulted. No objections have been raised and GMEU are satisfied that ecological issues can be resolved by condition or informatives:

Bats - No evidence of bats was found in the garages to be demolished and these buildings were assessed as low risk. No further information is required and an informative is recommended to the applicant to have due regard to Habitat Regulations.

The ecology report did however note that indirect impacts on potential bat roosting habitat (on the adjacent property) could occur. The new building would be higher than the garages and potentially impact on bat flight lines into the gable of the existing house should a roost be present. The ecology consultant recommends precautionary measures during construction, which can be conditioned.

Nesting birds - Potential bird nesting habitat would be lost as a result of the development. All British bird nests and eggs (within certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981 as amended. A condition is therefore recommended to restrict vegetation remove unless a bird nest survey is carried out and clarification provided there are no active nests.

Response to objector by applicant:

- The deeds of the application site include reference to the building of houses, with the right to build off the gable of No 18. However, this is not the intention. There would be access for maintenance of the side of No 18;
- The new house would not affect parking on the unmade side street. There are no parking restrictions on Bradley Fold Road or roads leading off it;
- Potential damage to No 18 is a private matter. Notice has been served by the Environmental Health officer to restrict working hours during construction;
- Ainsworth village is a named settlement in the Green Belt - there can be no dispute that the plot is an infill site and that the proposal is therefore appropriate development;
- United Utilities have commented on drainage arrangements.
- The I shape of the house has been proposed in response to the Planning Officer request that the massing should be in proportion to the adjacent terrace properties.
- One parking space has been considered as sufficient by the Planning Department, is within the site boundary and is accessible.
- The applicant owns the side street and adequate width remains for access and vehicles to pass in accordance with the requirements of the deeds.
- The actual house plot is no wider than the garages and concrete area in front.
- The applicant has consulted with the Council's Waste Management and confirmed adequate access would be provided.
- The junction with Bradley Fold would remain unchanged.
- Parking is not possible in front of the garages but could occur in the future next to the boundary of the house plot.
- The hedge could be retained but its removal would improve visibility at the junction.
- Considered Nos 16 and 18 do not merit inclusion in the Conservation Area, however, their inclusion would not prevent the erection of a new dwelling.
- The deed's of the applicant's land confirm there is a right to build onto the gable of No 18, but a path between is proposed to allow maintenance to both properties. The width is no less than in many comparable developments and would allow scaffolding to be erected. The width is no less than the existing distance at the back of the garages.
- There is no reason why an outline consent cannot be granted with the detailed design being the subject of a future reserved matters applications.

Response to the comments from the Parochial Church Council:

Condition 10 requires the applicant to submit details to show the retention of the existing shared access, and as such, the development would not result in alterations to the existing access to the Church.

Objections raised with regards to traffic, parking and impact on the Conservation Area, Listed Building and Green Belt have been covered in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. Applications for approval of reserved matters must be made not later than:
 - the expiration of three years beginning with the date of the grant of outline planning permission; and
 - that the development to which the permission relates must be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason. Required to be imposed pursuant to Section 51 of the Planning and Compulsory Purchase Act 2004
2. Before the development is commenced, the applicant shall submit detailed plans and particulars to the Local Planning Authority, and obtain their approval under the Town and Country Planning Acts, of the following reserved matters; the appearance and the landscaping of the site.

Reason. To ensure the satisfactory development of the site and because this application is in outline only.
3. This decision relates to drawings numbered 16/218/01A; 16/218/02A; Ecological Report dated 29th April 2016 by ecology Services UK Limited, and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
4. No development shall commence unless and until:-
 - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
 - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
 - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.
Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
6. Prior to the demolition of the garages a method statement detailing precautionary measures to prevent impacts direct or indirect to potential bat roosting sites in the hanging tiles of the adjacent property, should be supplied to and approved in writing to the Local Planning Authority. The agreed method statement only shall be adhered to and implemented in full.
Reason. The current application contains insufficient information in order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and Section 11 of the National Planning Policy Framework.
7. No demolition shall commence and no works to trees or shrubs shall be carried out between 1st March and 31st August inclusive in any year unless a detailed bird nest survey by a suitably experienced ecologist has been carried out immediately prior to clearance, and written confirmation provided that no active bird nests are present which has been approved in writing by the Local Planning Authority.
Reason. The current application contains insufficient information in order to ensure that no harm is caused to a Protected Species pursuant to policies EN6 – Conservation of the Natural Environment and EN6/3 – Features of Ecological Value of the Bury Unitary Development Plan and National Planning Policy Framework Section 11 - Conserving and enhancing the natural environment.
8. No development shall commence unless and until details of surface water drainage proposals have been submitted to and approved by the Local Planning Authority. The proposed scheme must be based on the hierarchy of drainage options in the National Planning Practice Guidance and include assessment of potential SuDS options for surface water drainage with appropriate calculations and test results to support the chosen solution. Details of proposed maintenance arrangements should also be provided. The approved scheme only shall be implemented and thereafter maintained.
Reason. The current application contains insufficient information regarding the proposed drainage scheme to fully assess the impact in the interests of sustainable development pursuant to chapter 10 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
9. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to Bury Unitary Development Plan H2/2 - The Layout of New Residential Dwellings.
10. Notwithstanding the details shown indicatively on approved plan reference 16/218/02 revision C, at first reserved matters stage, full details of the following shall be submitted to and agreed with the Local Planning:
 - Retention of the existing shared access width;

- Provision of a minimum rubbings strip of 0.5m between the retained access and the proposed dwelling/property boundary;
- Provision of adequate parking arrangements within the curtilage of the site;
- Boundary details incorporating adequate visibility splays and visibility at the back edge of the footway at the junctions of the shared access with Bradley Fold Road and the proposed driveway with the shared access in accordance with the standards in Manual for Streets;
- Any highway remedial works that may be required at the interface between the site and the adopted highway;
- Adequate pedestrian facilities from the adopted highway;
- Adequate bin storage facilities within the curtilage of the site.

The details subsequently approved shall be implemented to an agreed specification and to the written satisfaction of the Local Planning Authority before the dwelling is first occupied.

Reason. To ensure good highway design and ,maintain the integrity of the adopted highway in the interests of highway safety, pursuant to Bury Unitary Development Plan Policies H2/2 - The Layout of New Residential Development and HT2/4 - Car parking and New Development and HT6/2 - Pedestrian/Vehicular Conflict.

11. No development shall commence unless and until details have been submitted to and approved in writing by the Local Planning Authority to cover measures to ensure that all mud another loose materials are not carried on the wheels and chassis of any vehicles leaving the site and measures to minimise dust nuisance caused by the operations. The approved details shall be implemented and maintained thereafter during the period of construction.

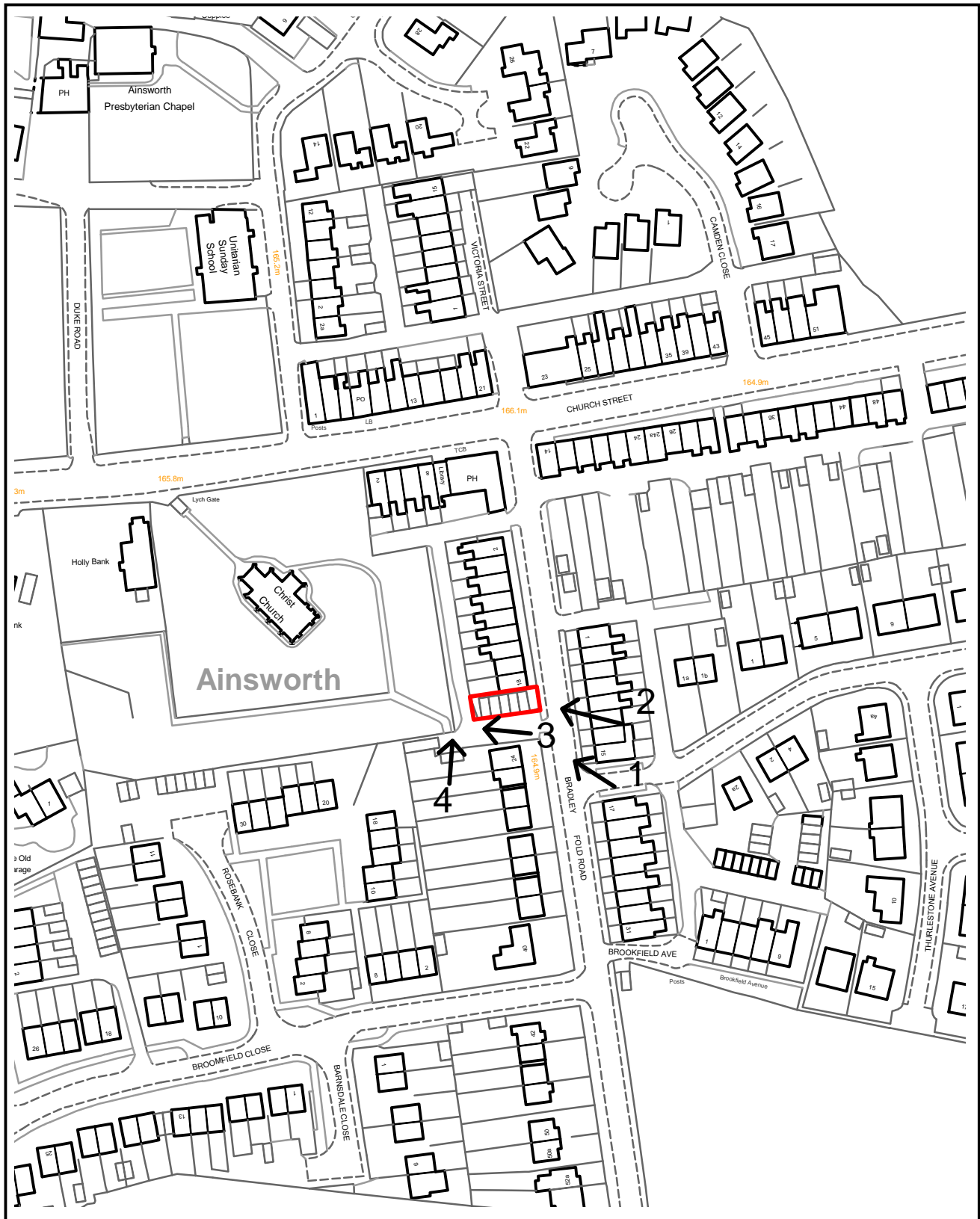
Reason. To ensure that the adopted highways are kept free of deposited material from the ground works operations pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design.

12. The materials to be used shall be slate roof tiles and red brick elevations, samples of which, together with details of their manufacturer, type/colour and size, shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials shall be used for the construction of the development.

Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policies H2/1 - The Form of New Residential Development, EN1/1 Visual Amenity, EN1/2 - Townscape and Built Design, EN2/2 - Conservation Area Control and OL1/2 - New Buildings in the Green Belt.

For further information on the application please contact **Jennie Townsend** on **0161 253-5320**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 59997

**ADDRESS: Garage site at Bradley Fold Road
Ainsworth**

Planning, Environmental and Regulatory Services

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Bury
COUNCIL

59997

Photo 1



Photo 2

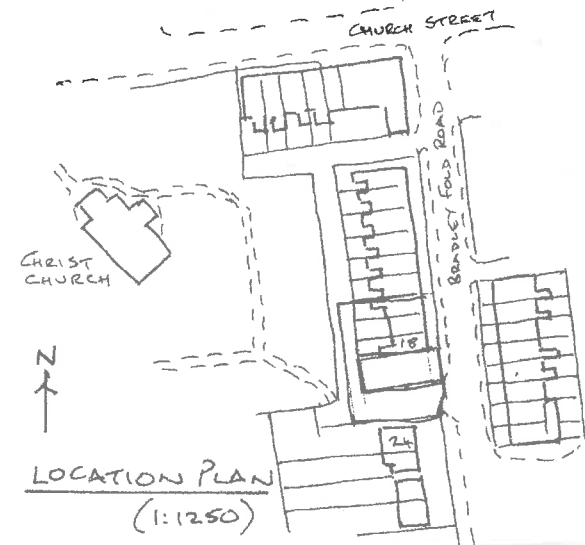


Photo 3



Photo 4

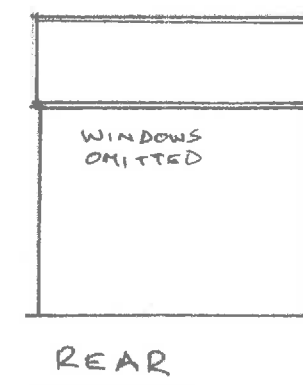
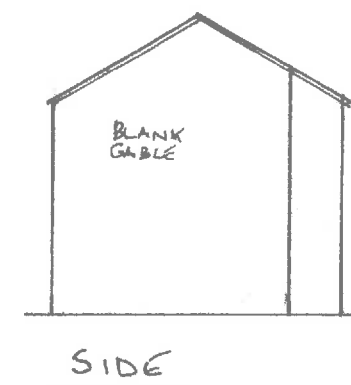
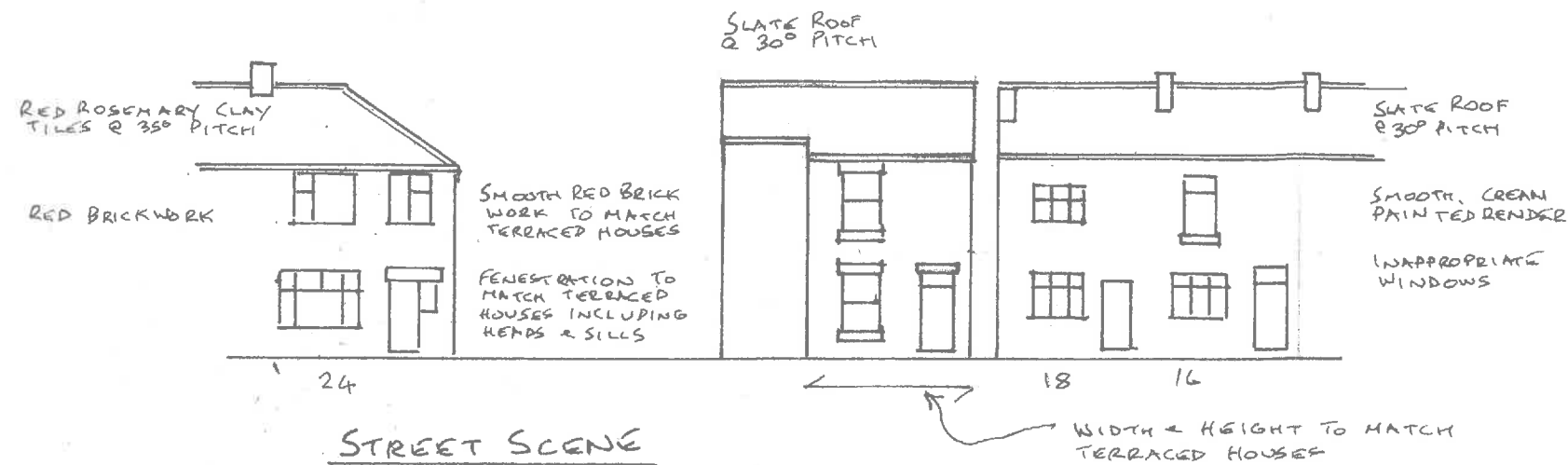




31/05/2016 LEVELS ADDED
08/04/2016

16/218/01A

DETACHED DWELLING
LAND BETWEEN 18 & 24 BRADLEY FOLD ROAD, AINSWORTH

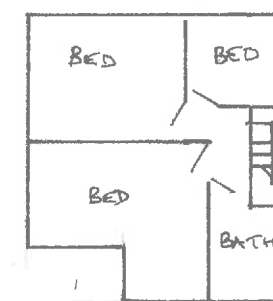


NOTE JUNCTION OF UNADOPTED SIDE STREET WITH
BRADLEY FOLD ROAD UNCHANGED.
VISIBILITY IMPROVED WITH REMOVAL OF CONCRETE
FENCE & HEDGE

2/C PROPOSED PLANS

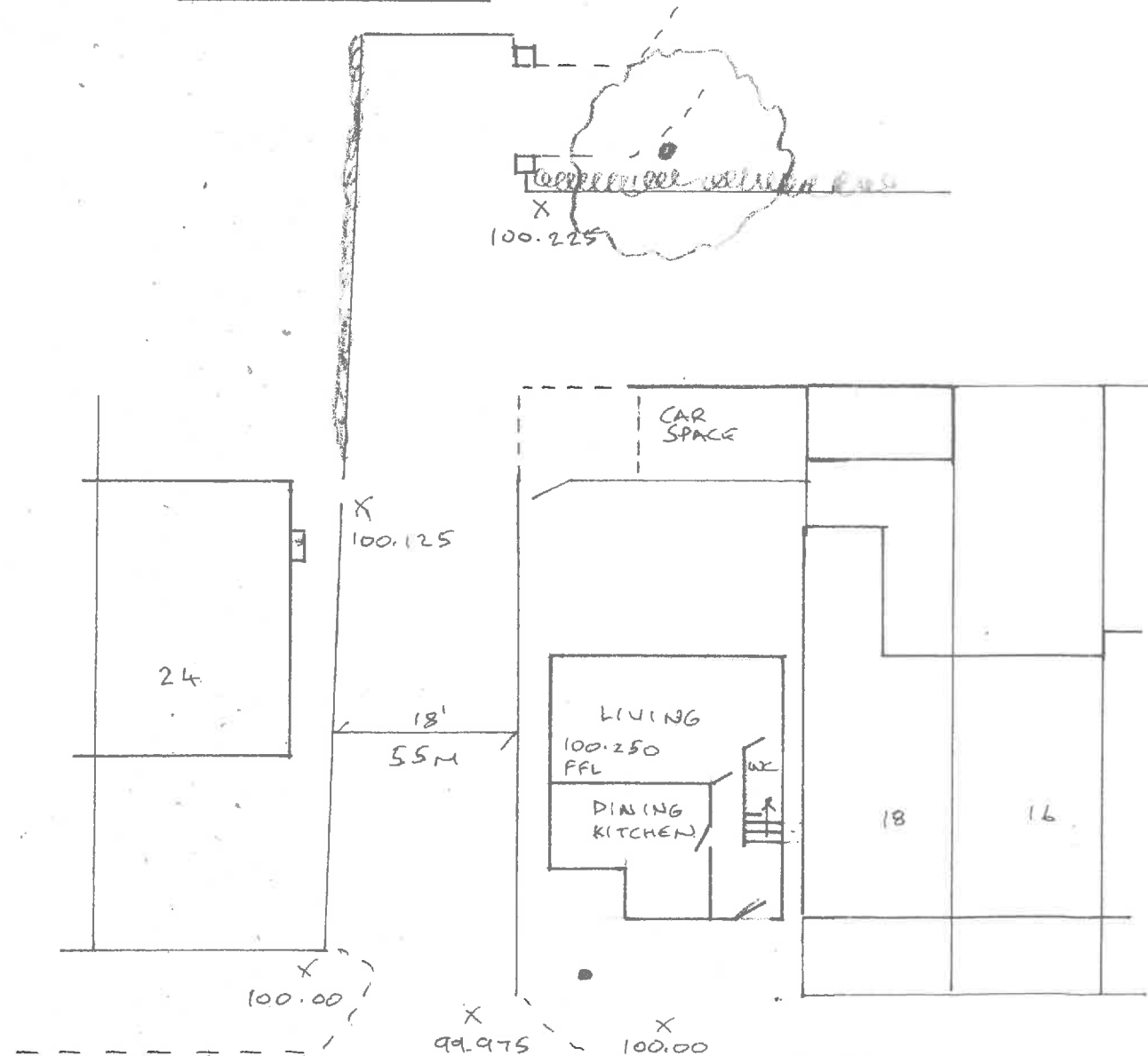
INTERNAL LAYOUT FOR ILLUSTRATION ONLY

DIMENSIONS TO BE CONFIRMED BY
DETAILED SITE SURVEY



FIRST FLOOR

21/06/16 - REDRAWN, DETAILS AMENDED
15/06/16 - SCALE DEMONSTRATED
31/05/16 - LEVELS ADDED
08/04/16 - ORIGINAL PLAN



GROUND FLOOR PLAN

21/06/16

16/218/02C

DETACHED DWELLING
LAND BETWEEN 18 & 24 BRADLEY FOLD ROAD, AINSWORTH

SCALE 1:200 @ A3

Ward: Prestwich - Sedgley

Item 05

Applicant: Prestwich Muslim Welfare Trust

Location: Masjid - E - Bilal, 52 Bury Old Road, Prestwich, Manchester, M25 0ER

Proposal: Temporary Siting (for 3 years) of 1 no. Portacabin for use as a Classroom and Alterations to Car Park Layout

Application Ref: 60004/Full

Target Date: 16/06/2016

Recommendation: Approve with Conditions

Description

The site comprises the former Brooklands Library which was transferred to the Muslim Welfare Trust in 1999. The single storey building, which has been altered and extended in recent years, serves as a mosque and a teaching facility for the local Muslim community. It sits in the centre of the site with a public car park immediately to the south-east and a private car park, belonging to the applicant, to the west. There are houses to the north, on Woodthorpe Grange and to the east, on Woodthorpe Close. Across Bury Old Road is a Local Shopping Centre and semi-detached houses. Bury Old Road, in front of the site, has parking restrictions in the form of double yellow lines and there is a bus stop on Bury Old Road just to the South-East of the entrance.

The site is accessed from Bury Old Road. The Bury Old Road boundary comprises a wall (1500mm) and mixed deciduous trees and shrubs while along the northern boundary, there is a timber fence and large coniferous trees. A wall and fence (approximately 3m high) runs along the rear boundary and the adjoining properties on Woodthorpe Close have mixed tree planting immediately behind the fence.

The proposal seeks to provide a separate teaching facility within a modular classroom on the north-west side of the main building. The applicant states that the facility is necessary as sometimes the worship and teaching functions of the existing building conflict with one another.

The flat roof modular building would comprise two classrooms and have a footprint 15.5m by 6.2m, with a total height of 3.1m. It would be accessed via a ramped access to a side entrance between the new building and the existing centre.

The existing car park would be upgraded and extended to provide 19 spaces on site. The applicant has also secured an agreement with the nearby Maccabi Community and Sports Club, (170m to the north) to be able to use their 60 space car park on Friday afternoons as an 'overflow car park' for those attending 'Friday prayers'. The applicant has stated that a private 'parking warden' would manage the parking arrangements on Friday afternoons, which is the busiest period.

It is noted that temporary approval, for three years, was granted under reference 45759, in 2006. This permission was never implemented and expired in 2009. This previous scheme located the modular classroom between the existing building and rear/north-east boundary and the layout plan is included at the end of this report.

Relevant Planning History

45759 - Temporary siting of portable classroom - Approved 19/04/2006

46455 - Prior Approval Application For Telecommunications Installation - Prior Approval Granted 26/07/2006

53283 - Single storey extension (retrospective) - Refused 24/01/2011
56824 - Single storey extensions to form washroom facilities and kitchen (retrospective) - Approved 21/01/2014
58744 - Siting of 1 no. portacabin for use as a classroom - Withdrawn - 23/07/2015

Publicity

The following properties were notified by letter dated 22/04/2016. Nos.46-51, 53-77 (odd) Bury Old Road, 2-9 Woodthorpe Grange, 2a,b and c Castle Hill Road. A site notice was also posted on site on 04/07/16 informing of revised plan.

Objections received from 55 and 55a Bury New Road, 1 and 8 Woodthorpe Grange, 5 Woodthorpe Court and 19 Castle Hill Road.

Concerns are summarised below:

- The site is too busy as it is, with traffic blocking the public car park and nearby roads and also the pavement across the road. This is a particular problem on Fridays when more people visit the centre.
- Additional facilities will only increase the usage of the mosque, and increase traffic congestion in the immediate vicinity.
- The siting of the cabin will reduce parking on site, exacerbating the existing problem.
- Planning officers and/or Councillors should visit the site at 1:30--2:30 on a Friday, and then make their judgement.
- The site will become a mish mash of ugly add-ons over time.

Those who have made representations have been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objection subject to conditions requiring suitable traffic management and parking measures to be put in place prior to first use.

Unitary Development Plan and Policies

EN1/2	Townscape and Built Design
CF1	Proposals for New and Improved Community Facilities
CF2	Education Land and Buildings
EN7/2	Noise Pollution
HT2/4	Car Parking and New Development
HT6/2	Pedestrian/Vehicular Conflict
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principal. The site has established use for Class D1 Non-Residential Institutions, which includes the use as a Islamic Centre and the proposed classroom . As with most religions, teaching is an integral part of the Islamic tradition and as such the provision of facilities on the site for such a use are appropriate.

Traffic - There are parking restrictions in the form of double yellow lines along Bury Old Road. However parking problems have occurred around the site, particularly on Fridays when the Muslim community attend the centre for prayer and other ancillary functions. The problems have included blocking the parking spaces within the adjacent public car park and

impeding access to it and in some cases illegal parking along Bury Old Road.

To address the parking issues, the applicant has revised the proposed layout to maximise parking spaces on site and also secured an agreement to provide overflow parking on the site of the Maccabi Community and Sports Club further along Bury Old Road. A warden from the mosque would direct vehicles to the overflow car park at the Maccabi site.

Given that the proposal is to improve existing facilities on site rather than provide new ones, the upgrading of the existing car park and the provision of additional parking at Maccabi, the revised proposal is now considered to be acceptable and complies with UDP Policies HT2/4 Car Parking and New Development and CF1 Proposals for New and Improved Community Facilities.

Visual Amenity. The site of the proposed classroom is completely screened from Bury Old Road by the main building and heavy planting along the frontage. The site is also screened from properties fronting Woodthorpe Grange by tall conifers and from properties at the rear by a fence and planting.

In this location, the new building at a maximum height of 3.1m, would not be particularly prominent within the site. With a temporary consent of up to 3 years, the building should not deteriorate in appearance so much as to warrant refusal. The proposal is considered to be acceptable and complies with UDP policies relating to visual amenity including EN1/2 Townscape and Built Design.

Residential amenity. The proposed building would be screened from neighbouring properties as it would be set down from the top of the wall/fence along the rear boundary. The distance between the proposed classroom and the rear wall of the residential properties on Woodthorpe Court would be approximately 17m and 40m in relation to Woodthorpe Grange. Whilst there would be some noise from the use of the building as a classroom, it is not considered that this would be of a level as to cause such a loss of residential amenity as to warrant refusal of the application. As such the proposal is considered to comply with UDP Policies CF1 and EN7/2 in relation to residential amenity.

Objections. The parking concerns of the objectors are addressed in the above report and revised plans. With more sensitive traffic management and the use of the Maccabi car park as an overflow facility, the proposal is now considered to be acceptable.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. Permission is hereby granted for a limited period only, namely for a period expiring 3 years from the date of this decision notice, and the building, works and use comprising the development for which permission is hereby granted are required to be respectively removed and discontinued at the end of the said period and the land reinstated to its former condition unless a valid application is received by the Local Planning Authority for its retention.

Reason. The development is of a temporary nature only.

2. This decision relates to revised location plan received 29/06/16, Revised Layout plan 02/B and the development shall not be carried out except in accordance with the drawings hereby approved.

Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.

3. The traffic management measures detailed within the Planning Statement, including;
 - The access and parking improvements indicated in the revised plan 02/B shall be completed in accordance with the plan before the use of the classroom/ portacabin is brought into use;
 - On Fridays, the Maccabi Social and Sports Centre will allow the Masjid-E Bilal Islamic Centre to use the Macabbi Car Park car park from 12.45---2.30 pm;
 - On Fridays, there shall be a 'car parking warden' organising the parking on the site of 52 Bury Old Road and, when full, requesting worshipper's park at the Macabbi car park further along Bury Old Road

shall be implemented to the written satisfaction of the Local Planning Authority prior to the proposed use commencing.

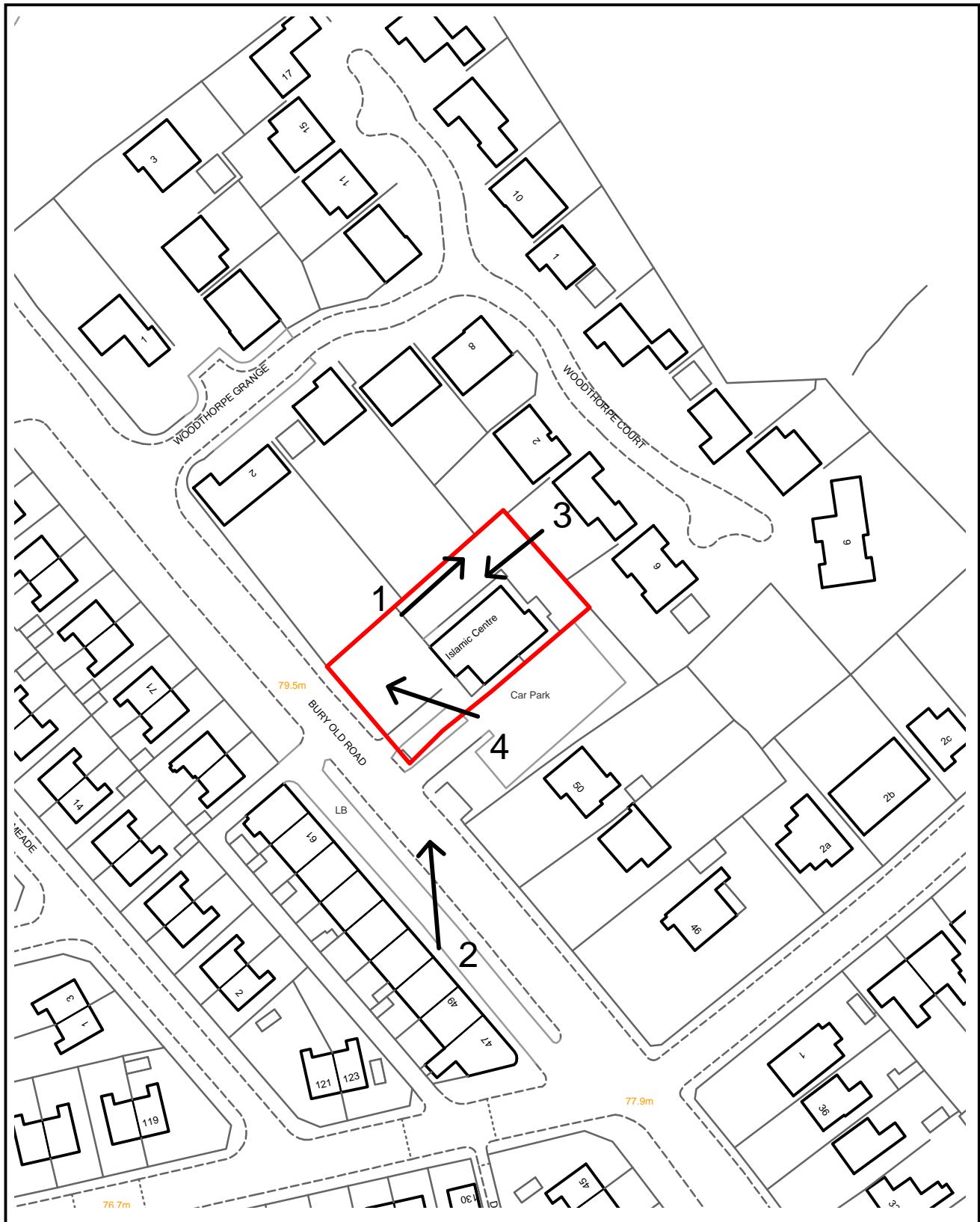
Reason. In order to ensure proper traffic management of the site in the interests of highway safety pursuant to UDP Policy HT2/4 Car Parking and New Development.

4. The car parking indicated on the approved plans shall be surfaced, demarcated and made available for use prior to the temporary classrooms hereby approved being brought into use.

Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60004

**ADDRESS: Masjid - E - Bilal
52 Bury Old Road
Prestwich**

Planning, Environmental and Regulatory Services



Bury
COUNCIL

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60004

Photo 1



Photo 2

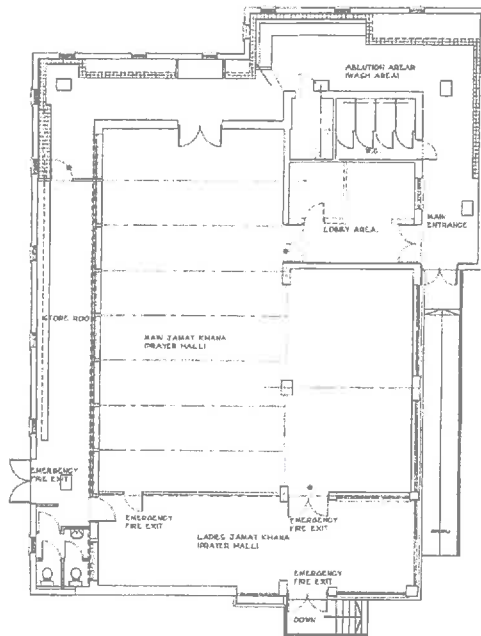


Photo 3

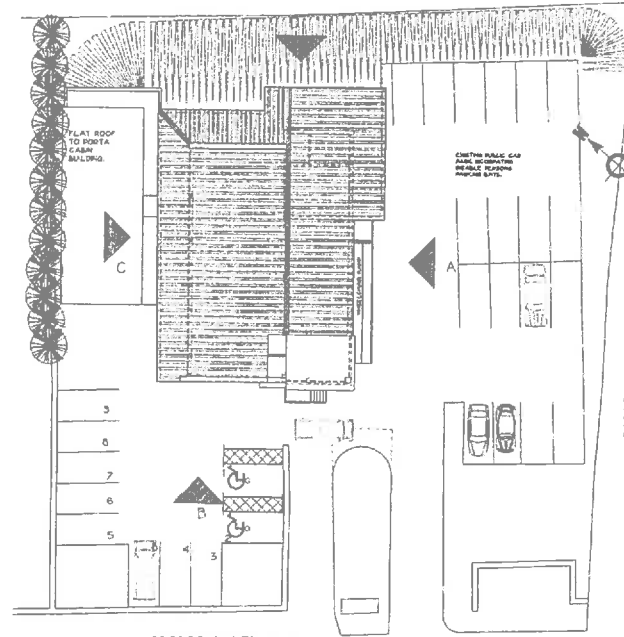


Photo 4

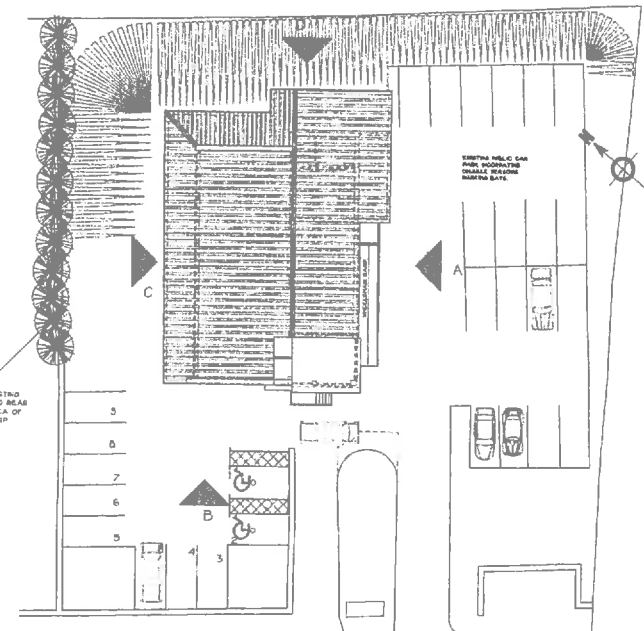




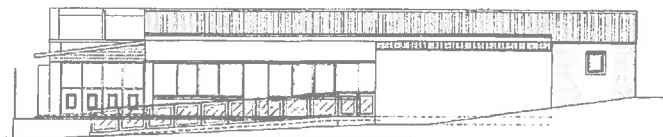
EXISTING FLOOR PLAN, SCALE 1:100



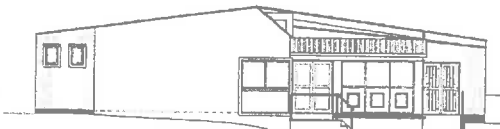
PROPOSED SITE PLAN
SCALE 1:200



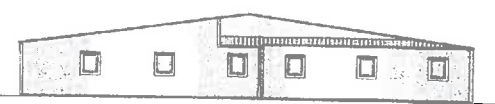
PROPOSED SITE PLAN
SCALE 1:200



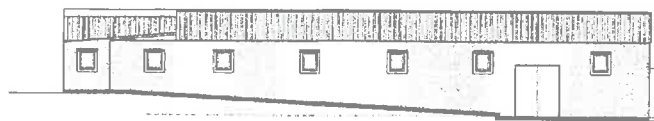
EXISTING ELEVATION 'A'



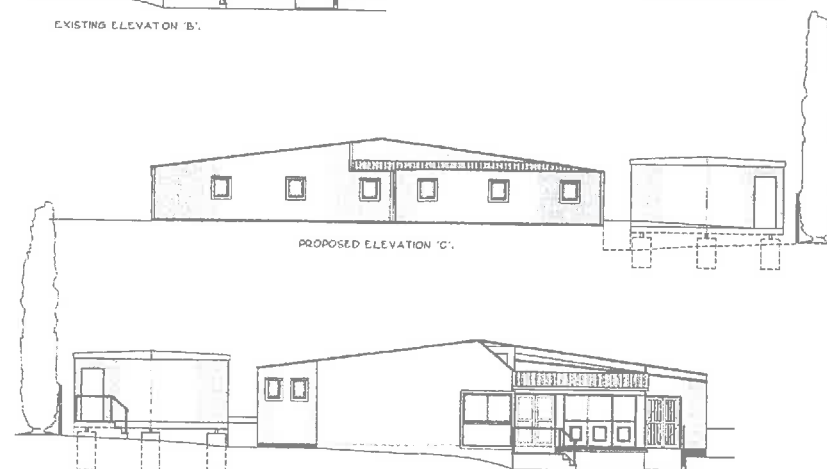
EXISTING ELEVATION 'B'



EXISTING ELEVATION 'D'



EXISTING ELEVATION 'D'



PROPOSED ELEVATION 'A'

No reference should be placed upon dimensions which are scaled off this drawing - please see annotations.

Revision	DATE	BY	CHKD
ISSUED			
PLANNING DEPT.			
CLIENT			
BUILDING DEPT.			
CONTRACTOR			

THIS
PROPOSED INSTALLATION OF
PORTA CABIN AT:
THE ISLAMIC CENTER,
52 BURY OLD RD, PRESTWICH,
MANCHESTER.

EXISTING GROUND FLOOR, EXISTING &
PROPOSED ELEVATIONS & EXISTING &
PROPOSED SITE PLANS.

YOUNUS KHAN
ARCHITECTURAL CONSULTANT

YOUNUS KHAN ARCHITECTURAL CONSULTANT
11, FIVE BUCKINGHAM GARDENS, BURY, MANCHESTER, M3 7LQ

DATE	DRAWN BY	CHECKED	REV
14/08/2006			
SCALE	PROJECT NO.	DRAWING NO.	
1:100 & 1:200	3022	01	



CROSS-SECTION A-A SCALE 1:50

Smoke detection:
to be provided as indicated.
Detectors to be linked, permanently wired to a separate fuse on the distribution board and have battery back-up, all to BS 5839 part 1 and fitted in strict accordance with manufacturers recommendations.

PROPOSED GROUND FLOOR,
PROPOSED ELEVATIONS, EXISTING &
PROPOSED SITE PLANS AND
CROSS-SECTION DETAILS.

YOUNUS KHAN B.A (HONS) ARCH. DIP. ARCH. DESIGN CONSULTANT
TEL + FAX BLACKBURN 01254 691988. MOBILE 07930 344601

date MARCH 2016	drawn by	checked	rev
scale 1:50 & 1:100	project no. 3022	drawing no. 02	B

PORTA CABIN TO BE LOCATED AT TOP END OF GRASSED AREA.

EXISTING INTERNAL FINISHED FLOOR LEVEL

FLAT ROOF

MAIN BUILDING STRUCTURE

PUBLIC CAR PARK

CAR PARK

EXISTING CONCRETE RETAINING WALL

EXISTING SITE PLAN

SCALE 1:500

PREVIOUSLY APPROVED 45759

REV 'A' ON DELOS EXISTING AND PROPOSED LEVELS ADDED

No reference should be placed upon dimensions which are scaled off this drawing; please see annotations.

Revision	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
Issued																										
PLANNING DEPT																										
CLIENT																										
BUILDING DEPT																										
CONTRACTOR																										

Title
PROPOSED INSTALLATION OF PORTA CABIN AT:- THE ISLAMIC CENTER, 52 BURY OLD RD, PRESTWICH, MANCHESTER.

PROPOSED PLAN LAYOUT.

client

SCALE 1100

[illegible]

client

date DEC 2005	drawn by	checked	rev
scale 1:200	project no. 2124	drawing no. 01	

Ward: Ramsbottom and Tottington -
Ramsbottom

Item 06

Applicant: Miss Anne-Margaret Holt

Location: Dry Gap Farm, Bury Old Road, Shuttleworth, Ramsbottom, Bury, BL0 0RX

Proposal: Change of use of existing domestic stables to use as equestrian centre for able bodied people and individuals with autism and similar disabilities and creation of 3 no. new parking spaces

Application Ref: 60021/Full

Target Date: 05/07/2016

Recommendation: Approve with Conditions

Description

The application site is located in the Green Belt and within the area of special landscape. Planning permission was granted for the erection of 5 stables and an area for storage, tack and feed in a single 'U shaped' building, all of which were for domestic use.

The site is accessed from Bury Old Road by a single track and there is a 1 metre high dry stone wall on either side.

There is a single storey A-frame barn, which is a Grade II listed building. The barn has planning permission to be converted into a dwelling and the external works have been completed. However, the barn has not yet been completed and is not occupied. To the east of the barn is a dwelling (in the ownership of the applicant) and some outbuildings are located to the south of the dwelling. There are additional dwellings located to the east of Bury Old Road, which are some 100 metres away from the application site.

The proposed development involves the change of use of the existing domestic stables and riding arena to use as an equestrian centre for able bodied people and individuals with disabilities on a commercial basis. The proposed use would generate between 2 and 10 visitors per day and lessons would last between 30 minutes to an hour. The proposed opening hours would be from 10.00 until 20.00 on Tuesday, Wednesday, Thursday, Saturday and Sunday. Vehicular and pedestrian access to the site would remain as existing and 6 parking spaces would be created.

Relevant Planning History

50365 - Hay barn, 5 no. loose boxes, tack room, feed store and repositioning of manege with change of use of 2 no. stables to store at Dry Gap Farm, Bury Old Road, Ramsbottom. Approved with conditions - 2 October 2008

Adjacent site

47921 – Conversion of an A-frame barn to a dwelling at Dry Gap Farm, Bury Old Road, Edenfield. Approved with conditions – 5 June 2007

47922 – Listed Building Consent for conversion of existing barn to dwelling at Dry Gap Farm, Bury Old Road, Edenfield. Approved with conditions – 5 June 2007

50818 - Conversion of a-framed barn to dwelling (revised scheme) at Dry Gap Farm, Bury Old Road, Edenfield. Approved with conditions – 10 March 2009.

50819 – Listed building consent for conversion of a-framed barn to dwelling (revised scheme) at Dry Gap Farm, Bury Old Road, Edenfield. Approved with conditions – 10 March

2009.

Publicity

The neighbouring properties were notified by means of a letter on 10 May 2016.

1 letter has been received from the occupiers of Dry Gap Barn, which has raised the following issues:

- Concerned about access and parking - the siting and proximity to our property.
- Concerned about noise and disturbance from the working hours. Would prefer two days (including Sunday) with no activity/usage.
- Would toilet facilities be provided and how would this increased use impact upon the maintenance of water treatment plant.
- Has the increased use and emptying of the midden been considered?
- The field to Dry Gap Farm would be used more than currently due to the commercial use.
- There is a caveat imposed upon us by the applicant that restricts us from operating a business from the barn. As such, we request that if this is granted, it is specific to the applicant

The objector has been notified of the Planning Control Committee meeting.

Consultations

Traffic Section - No objections, subject to the inclusion of a condition relating to car parking.

Rossendale Borough Council - Comments awaited and will be reported in the Supplementary Report, if received.

Unitary Development Plan and Policies

EC4/1	Small Businesses
EC6/1	New Business, Industrial and Commercial
H3/1	Assessing Non-Conforming Uses
EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN1/3	Landscaping Provision
EN2/3	Listed Buildings
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/2	Noise Pollution
EN7/5	Waste Water Management
EN8/2	Woodland and Tree Planting
OL1/2	New Buildings in the Green Belt
OL1/5	Mineral Extraction and Other Development in the Green Belt
OL4/7	Development Involving Horses
RT3/2	Additional Provision for Recreation in the Countryside
RT3/3	Access to the Countryside
CF1/1	Location of New Community Facilities
CF1	Proposals for New and Improved Community Facilities
SPD8	DC Policy Guidance Note 8 - New Buildings in the Green Belt
SPD10	Planning for Equestrian Development
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be

specifically mentioned.

Principle (Green Belt & Recreation) - Paragraph 89 of the NPPF states that the construction of new buildings in the Green Belt should be regarded as inappropriate in the Green Belt. Exceptions to this are:

- buildings for agriculture and forestry;
- provision of appropriate facilities for outdoor sport, outdoor recreation and for cemeteries, as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it;
- the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
- the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
- limited infilling in villages and limited affordable housing for local community needs under policies set out in the local plan; or
- limited infilling or the partial redevelopment of previously developed sites, whether redundant or in continuing use, which would not have a greater impact upon the openness of the Green Belt and the purpose of including land within it than the existing development.

Policy OL1/2 states that the construction of new buildings within the Green Belt will be inappropriate development unless it is for agriculture, forestry, essential facilities for outdoor recreation, limited extensions of existing dwellings and for other uses of land which do not conflict with the purposes of including land in it. Proposals for buildings, which do not fall into one of the above categories is inappropriate development and will only be permitted in special circumstances.

Policy OL4/7 states that the keeping of horses for recreation purposes or as part of commercially based equestrian activities will be considered acceptable where it would not have an adverse effect on the appearance of the rural areas. In particular, high standards of design, construction and maintenance will be expected as part of any development proposals.

The proposed development would involve the change of use of the existing buildings from a purely domestic use to a commercial use offering lessons to those with disabilities and learning difficulties. The existing building, riding arena and hardstanding would be unchanged from the previous consent for domestic use. The applicant would limit the numbers to between 2 - 10 people per day and only 1 - 2 people would be on site at any one time. Additional parking spaces would be located adjacent to the riding arena on the existing hardstanding. Therefore, the proposed development would not have an adverse impact upon the openness and character of the Green Belt and would be in accordance with Policies OL1/2 and OL4/7 of the Bury Unitary Development Plan and the NPPF.

Residential amenity, design and layout - The existing buildings, riding arena and hardstanding would be unchanged by the proposed development and as such, the proposed development would not have an adverse impact upon the openness of the Green Belt or the character of area as a result of built development for an arena and associated buildings.

The proposed development would allow the existing facilities to be used for riding lessons with between 2 and 10 visiting on a daily basis between 10.00 and 20.00. The agent has relocated the proposed parking to the area adjacent to the riding arena, which would not overlook the adjacent residential property.

It is considered that the proposed use would not generate a significant level of noise, when compared to the existing use as stables. The adjacent barn has consent for a residential use and would be 28 metres away from the stables. The applicant has agreed to a personal permission and it is considered that given the distance to the barn, the proposed opening hours and the personal permission, the proposed development would not have a significant

adverse impact upon the amenity of the neighbouring property. Therefore, the proposed development would be in accordance with Policies EN1/1, EN1/2, EN2/3, OL1/2 and OL4/7 of the Bury Unitary Development Plan.

Highways issues - The proposed development would utilise the existing access, which serves the farmhouse, stables and barn. The proposed development would provide 4 parking spaces and 1 disabled parking bay on the existing hardstanding between the stables building and the riding arena. The Traffic Section has no objections to the proposed development, subject to the inclusion of a condition relating to the provision of car parking. Therefore, the proposed development would not be detrimental to highway safety and the level of parking provision would be acceptable. Therefore, the proposed development would be in accordance with Policy HT2/4 of the Bury Unitary Development Plan.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 536/1A, 536/2A and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The use of the stables and riding arena for commercial use hereby permitted shall be carried on only by Miss Anne-Margaret Holt and shall be for a limited period, being the period during which the premises are occupied by Miss Anne-Margaret Holt.
Reason. The proposed use would not accord with the character of the area and permission has only been granted given the particular circumstances of the applicant pursuant to policies of the Unitary Development Plan listed below:
Policy OL4/7 - Development Involving Horses
Policy EN7/2 - Noise Pollution.
4. The use hereby permitted shall not be open to customers outside the following times:
10.00 - 20.00 on Tuesdays, Wednesdays, Thursdays, Saturdays and Sundays
Reason. To safeguard the amenities of the occupiers of nearby residential accommodation pursuant to Policies OL4/7 - Development Involving Horses and EN7/2 - Noise Pollution of the Bury Unitary Development Plan.
5. No development approved by this permission shall be commenced until, a scheme for the containment and storage of manure, has been approved by the Local Planning Authority. Such a scheme shall be constructed and completed, in

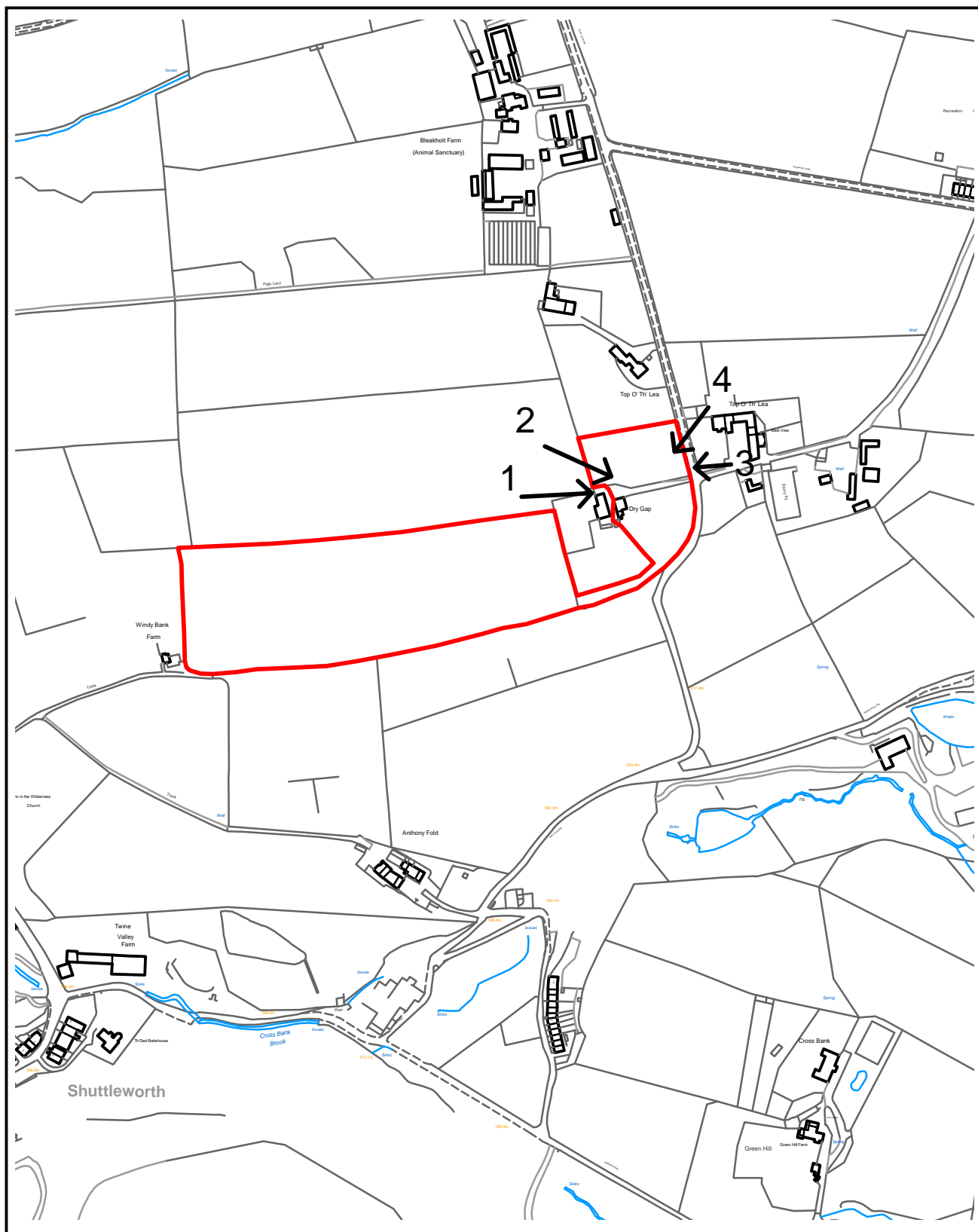
accordance with approved plans and thereafter maintained.

Reason. To prevent the pollution of the environment pursuant to Policies H3/1 – Assessing Non-Conforming Uses and OL1/2 – New Buildings in the Green Belt of the Bury Unitary Development Plan.

6. Prior to the commencement of development, a sample panel of the dry stone wall, demonstrating the colour and texture, not less than 1 sq.m in size, shall be erected on site for inspection and approval in writing, by the Local Planning Authority. Thereafter, the wall shall be constructed in accordance with the approved details.
Reason - To secure the satisfactory development of the site and in the interests of the visual amenities of the area pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
7. The car parking indicated on the approved plans shall be made available for use prior to the use hereby approved commencing and thereafter maintained at all times.
Reason. To ensure adequate off street car parking provision in the interests of road safety pursuant to Policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.

For further information on the application please contact **Helen Longworth** on **0161 253 5322**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60021

**ADDRESS: Dry Gap Farm
Bury Old Road
Shuttleworth**

Planning, Environmental and Regulatory Services



Bury
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60021

Photo 1



Photo 2

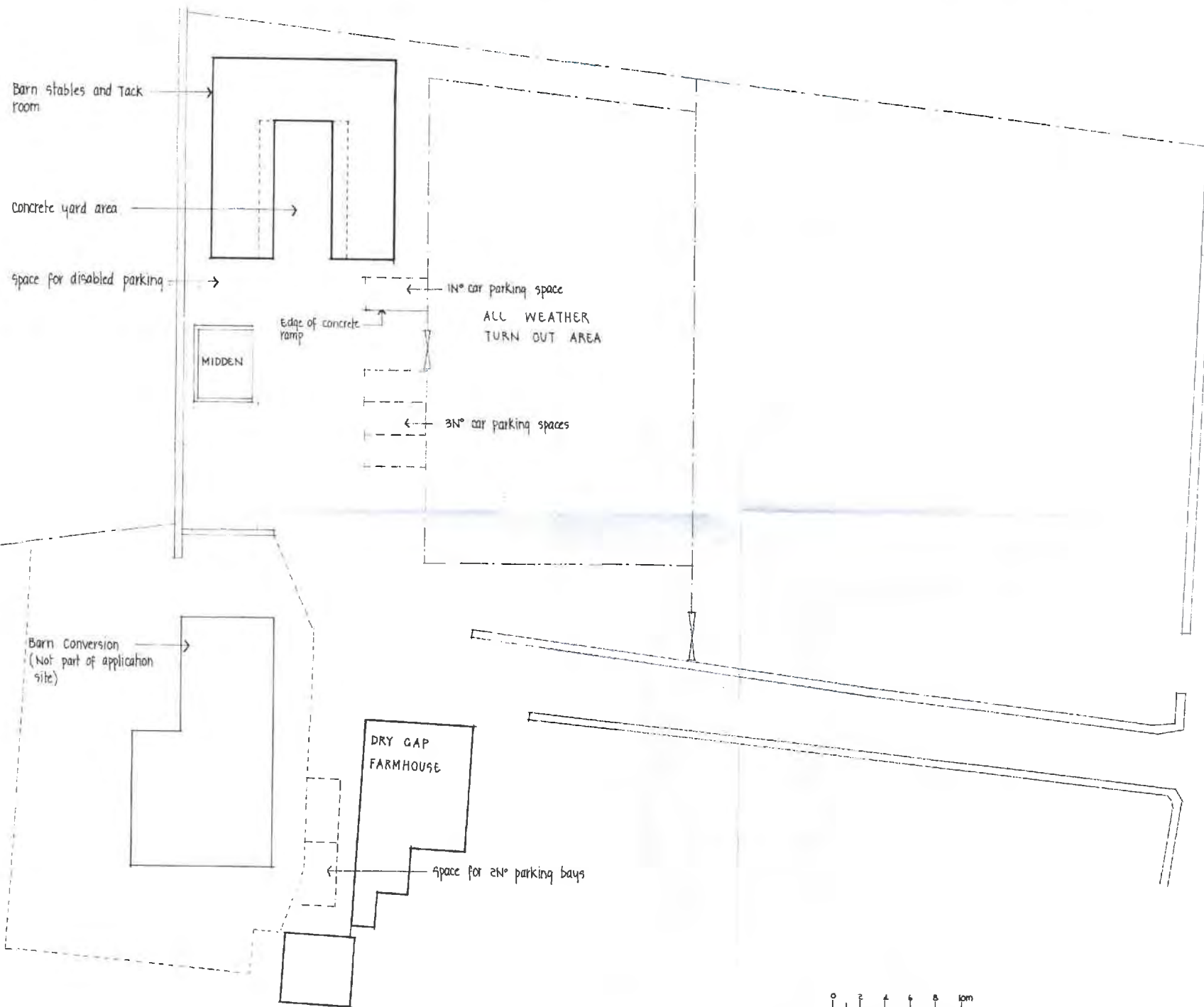


Photo 3



Photo 4





BURY OLD ROAD

A. Parking altered.

July 2016

REVISION	DATE	DR	CH

**Architectural
Design
Partnership**

Kirkcaldy
9 Castle Road
Cotne
Lancashire BB8 7AR
Tel: 01282 861876

PROJECT
DRY GAP FARM
BURY OLD ROAD
RAMSBOTTOM

DRAWING TITLE

SITE PLAN

THIS DRAWING IS COPYRIGHT
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ALL DIMENSIONS TO BE CHECKED ON SITE
BEFORE COMMENCEMENT OF WORK
AND TO BE NOTIFIED OF ANY ERRORS

DRAWN K J NOLAN DATE April 2016

CHECKED SCALE 1:200

DRAWING NO
536/2A

Ward: Whitefield + Unsworth - Besses

Item 07

Applicant: Mr Gary Wilcox

Location: 4 Moss Lane, Whitefield, Manchester, M45 6HG

Proposal: Two storey extension for office and storage

Application Ref: 60171/Full

Target Date: 29/07/2016

Recommendation: Approve with Conditions

Description

The application relates to an existing detached two storey office building of Aarhus Fire and Security business on the south side of Moss Lane. There is a private staff/customer car park immediately to the east with access onto Moss Lane. There are semi-detached houses fronting Nuttall Avenue across Moss Lane to the front and a row of terraced houses, sitting at a slightly lower level, to the rear on Charnley Street. To the west is a detached red brick building last used as a club, but now vacant.

The proposal involves a two storey extension, projecting into the car park, off the west elevation. Constructed in red brick and tile to match the existing building, the extension would project out along the rear boundary 7.8m and have a depth of approximately 4m. There would be a store on the lower ground floor with access onto the car park and an office above. The roof would be hipped and carried over onto the existing roof. The car park would be reorganised to accommodate 9 cars.

It is noted that there was an application for a two storey extension approved by Planning Control Committee in 2010. With the revised floor layout being reduced in depth, this proposal is very similar to that approved scheme.

Relevant Planning History

49642 - Change of use from beauty salon & hairdressers (sui generis) to offices and laboratory (B1) - Approved 14/05/2008

52992 - Two storey extension at side - Approved 17/11/2010

Publicity

The following neighbours were notified by letter dated 07/06/16. 1 - 7(odd) and 2 Moss Lane, 146 - 156(even), 162, 166 Bury New Road, 14 - 36(even) Nuttall Avenue, 1 - 4 Charnley Mews, 4, 1 - 31(odd) Charnley Street.

Objection received from 21 Charnley Street are summarised below:

- Traffic - extremely busy junction close, would create further congestion. This area is not for large scale businesses, it is residential with small shops
- Parking problems will be made worse as there is more office space. Overflow parking will end up on Charnley Street which is already suffering hugely due to local shops
- This alley is a right of access to the rear of Charnley Street houses, & access is required at all times, but employee vehicles park here! I have had to turn away workmen who could not gain access.
- The proposed extension is too close to houses: would overlook the yards; block natural light to the majority of the houses. Invasion of our privacy, reduced quality of life, additional security issues, & impact on property prices & location desirability
- Container on the car park is accessed outside of the stated hours (7am-5.30pm) causes noise disturbance.

The objector has been notified of the Planning Control Committee.

Consultations

Traffic Section - No comment to date.

Drainage Section - No objection.

Environmental Health - No objection.

Unitary Development Plan and Policies

S1/3	Shopping in District Centres
EC5/2	Other Centres and Preferred Office Locations
EN1/2	Townscape and Built Design
H2/3	Extensions and Alterations
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
SPD16	Design and Layout of New Development in Bury
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Principle - Unitary Development Plan Policy EC4/1 - Small Businesses. Proposals for small businesses will be acceptable when the scale of development is appropriate to, and the use is environmentally compatible with the surrounding area where it is located, and where there is no conflict with other policies and proposals of the Plan.

UDP Policy EC5/2 - Other Centres and Preferred Office Locations considers favourably office developments in town and district centres, particularly in relation to existing or proposed transport infrastructure.

The site is an established small business and the principle to extend the building to facilitate business growth is considered acceptable subject to impact on the surrounding area.

Planning permission was granted in 2000 for a 2 storey rear extension, car park and change of use to health and beauty salon and from the plans the extension was to be in the same position which is the subject of this application. The proposed extension was not implemented. Whilst this was some time ago, the principle of an extension in this position has previously been considered acceptable.

Impact upon the surrounding properties - The houses directly affected by the position of the extension are Nos 1,3 and 5 Charnley Street which have 2 storey outriggers, with obscure glazed bathroom windows on the rear elevations of Nos 1 and 3 and a blank rear elevation to No 5.

There are no aspect standards for this type of development. However, Supplementary Planning Document 6 does provide guidance on aspect relationships. Using this as a reference, the guidance states that a minimal distance of 13m between a principal window to a habitable room and a blank elevation should be maintained.

There would be a distance of 13.5m from the proposed extension to the original rear elevation of the houses on Charnley Street. In this instance, regard should be given to the position of the extension in relation to the houses to the south. The extension is on the

north side and therefore will not block sunlight coming into the properties.

In terms of outlook from these houses, the habitable room windows on their rear elevations are already tunnelled by the 2 storey outriggers and it is considered the size and position of the extension would not have a significant impact on these properties.

There have been no objections received from Nos 1,3 and 5 Charnley Street which are the properties most likely to be affected by the proposal. Nos 13, 15 and 19 who have objected to the proposal are a minimum of 21m away and would not be affected by the extension.

In consideration of the above issues, the proposed extension which is very similar to that approved in 2010, would not be detrimental to the residential amenity of the nearby properties and as such would comply with EC4/1 - Small Businesses.

Visual amenity - The proposed extension would be similar in terms of design, appearance and materials as the existing office building. It would be set back from Moss Lane and with the roof set down from the main roof, it would not be particularly prominent when viewed from the public highway. The existing unsightly container situated in the car park would be required to be removed by an appropriate condition. The proposal complies with EN1/2 Townscape and Built Design.

Parking and Access - With the extension projecting into the existing car park, 2/3 spaces would be lost. However Guidance Note 11 on Parking Standards requires a maximum of 7 parking spaces be provided. With 9 spaces provided in the revised parking layout, the proposal would comply with policy guidance. The parking concerns of the objectors relate to the problems caused by parking within the surrounding streets and this is not necessarily the fault of the applicant's business, which unlike many of the surrounding businesses, has an adequate dedicated parking area. It is noted that the existing steel storage container on the car park would be required to be removed by an appropriate condition and therefore allow an appropriate parking layout.

There would be level access into the extension from the car park. All other access arrangements would remain as existing. The proposal would comply with UDP Policies HT2/4 Parking and New Development and HT5/1 - Access for Those with Special Needs.

Response to objector - The orientation and openings in the proposed means there would be no additional noise or activity associated with the use of the additional build. The site is adequately secured with boundary treatment and lockable gate and would remain as existing. Impact on house prices is not a material planning consideration. All other objections have been discussed in the above report.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

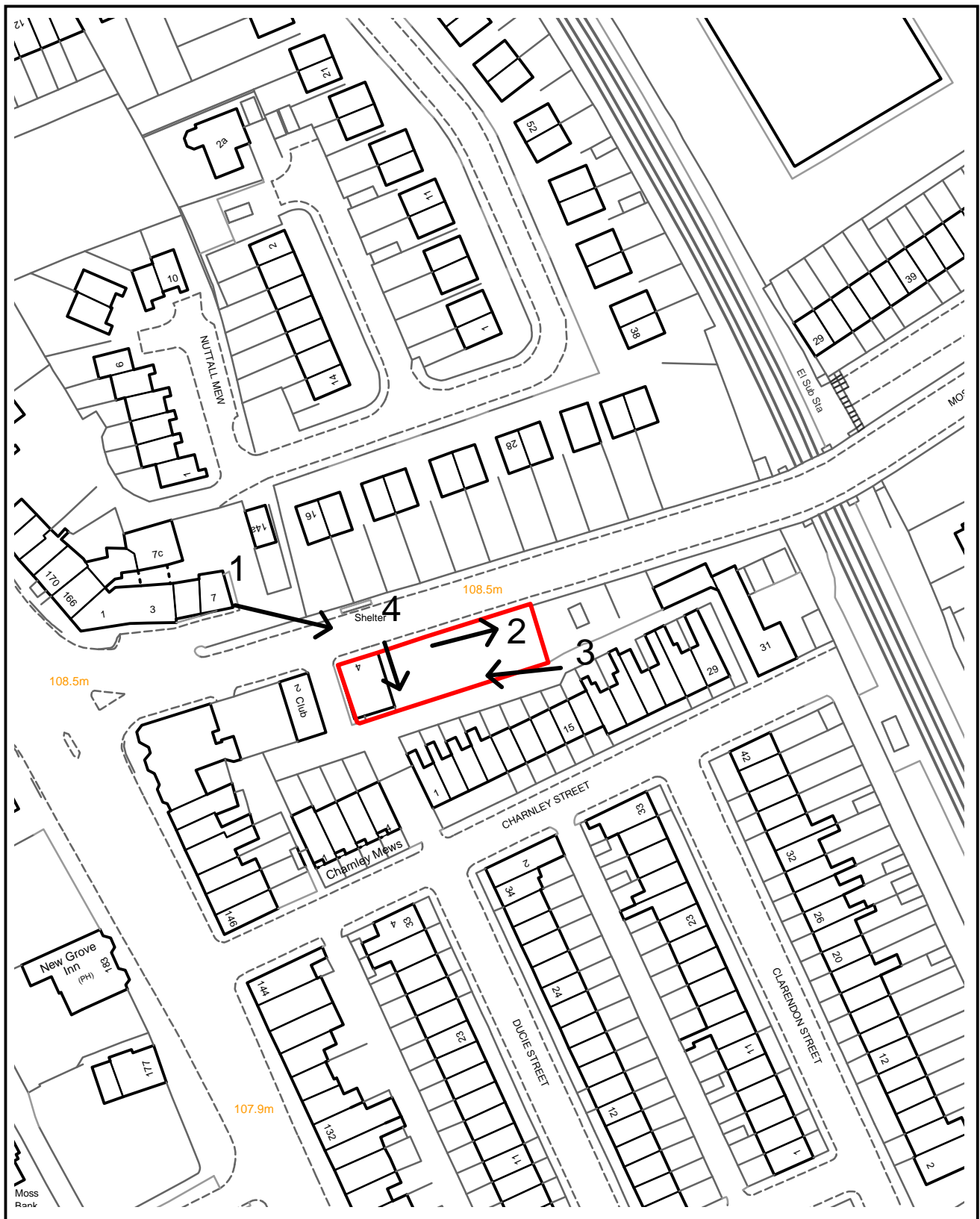
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to Location plan, Revised Site Layout AARHUS-05B, dwgs 1 and 2(Revised) numbered and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The external finishing materials for the proposal hereby approved shall match those of the existing building.
Reason. In the interests of visual amenity and to ensure a satisfactory development pursuant to Policy EN1/2 - Townscape and Built Design of Bury Unitary Development Plan.
4. Prior to the first occupation of the extension hereby approved, the existing steel storage container in the car park shall be removed from the site.
Reason. To ensure an appropriate parking layout in the interests of highway safety and in the interests of visual amenity pursuant to UDP Policies HT2/4 Parking and EN1/2 Townscape and Built Design.
5. The car parking indicated on approved plan reference AARHUS-05B shall be surfaced, demarcated and made available for use to the written satisfaction of the Local Planning Authority prior to the development hereby approved being brought into use.
Reasons. To ensure adequate off street car parking provision in the interests of road safety

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



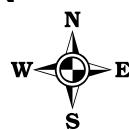
PLANNING APPLICATION LOCATION PLAN

APP. NO 60171

**ADDRESS: 4 Moss Lane
Whitefield**

Planning, Environmental and Regulatory Services

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Bury
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60171

Photo 1



Photo 2



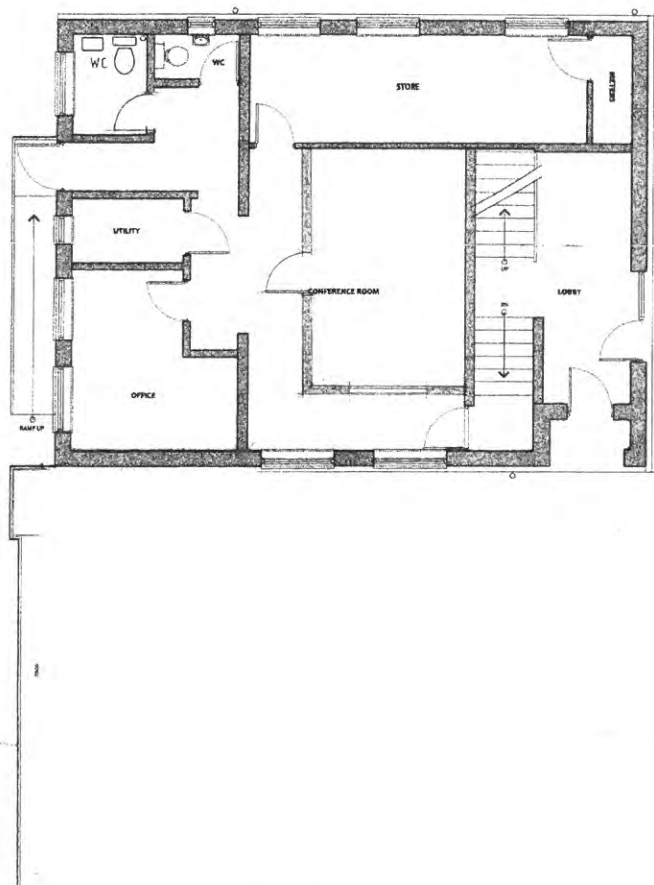
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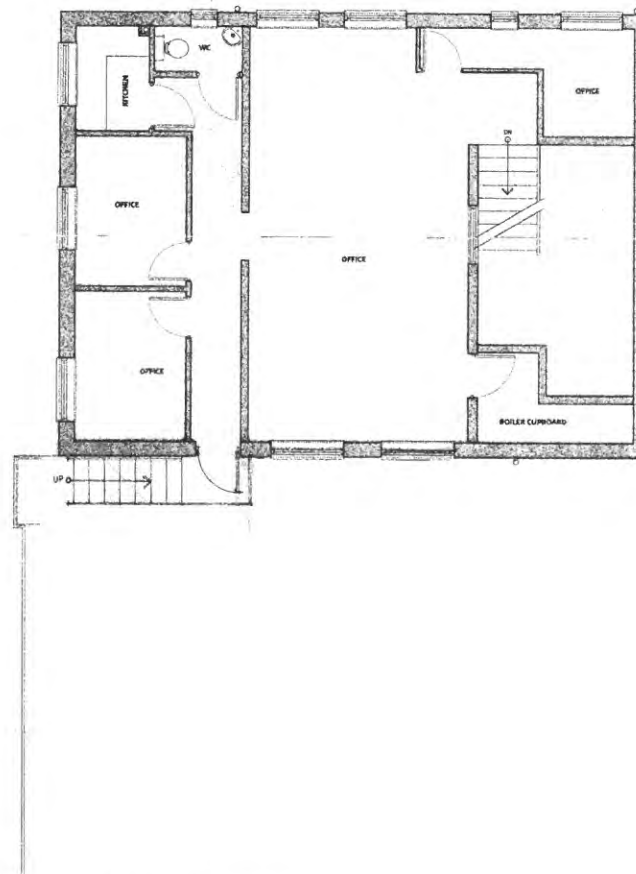
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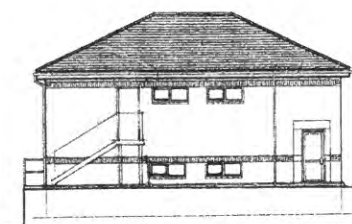
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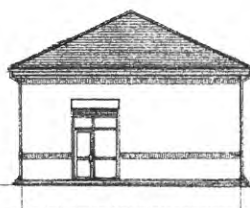
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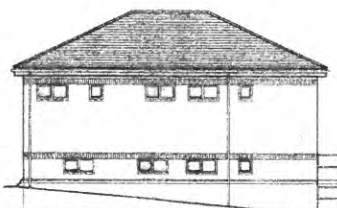
FIRST FLOOR PLAN @ 1:50 SCALE



SIDE ELEVATION ONE @ 1:100 SCALE



FRONT ELEVATION @ 1:100 SCALE



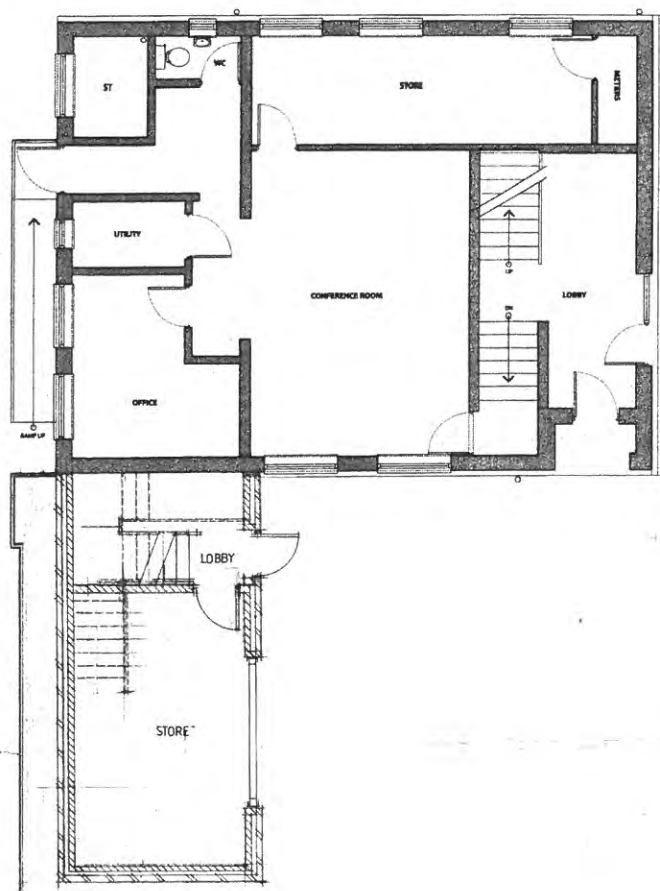
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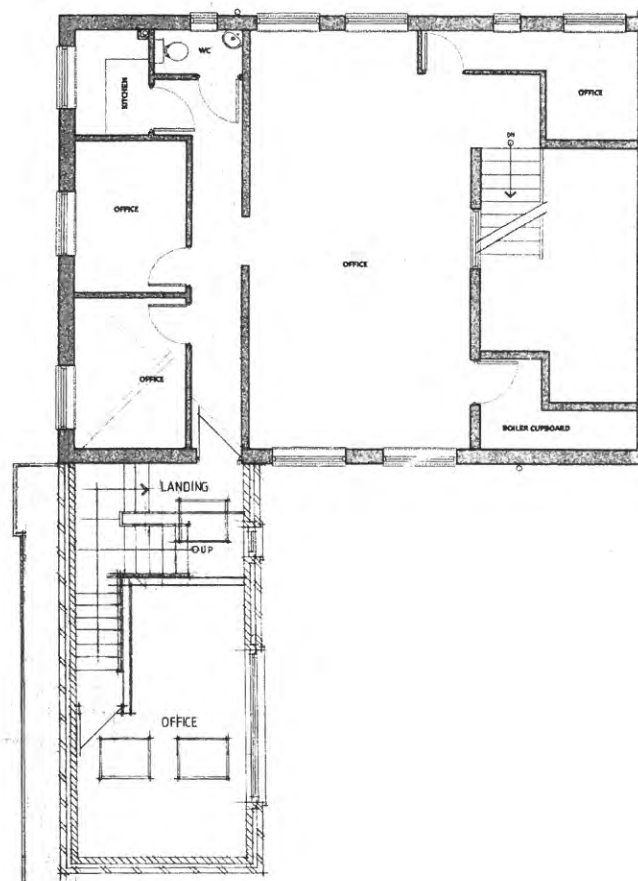
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No.	Revision	Date	Initial

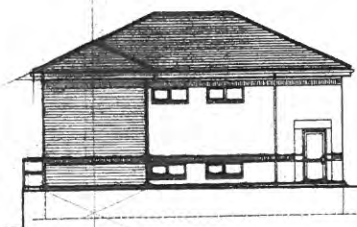
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11 GILDA CRESCENT ROAD ECCLES MSP PAUL TELEPHONE 081 707 3333	
Project: Aarhus 4 Moss Lane Whitefield Bury	
Title: Floor layouts and elevations (existing)	
Scale:	Date: Initial:
Dwg. No: 1	



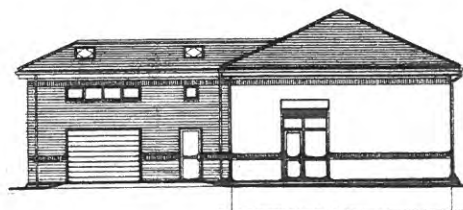
PROPOSED GROUND FLOOR PLAN @ 1:150 SCALE



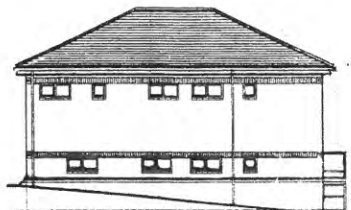
PROPOSED FIRST FLOOR PLAN @ 1:150 SCALE



PROPOSED SIDE ELEVATION ONE @ 1:100 SCALE



PROPOSED FRONT ELEVATION @ 1:100 SCALE



PROPOSED SIDE ELEVATION TWO @ 1:100 SCALE

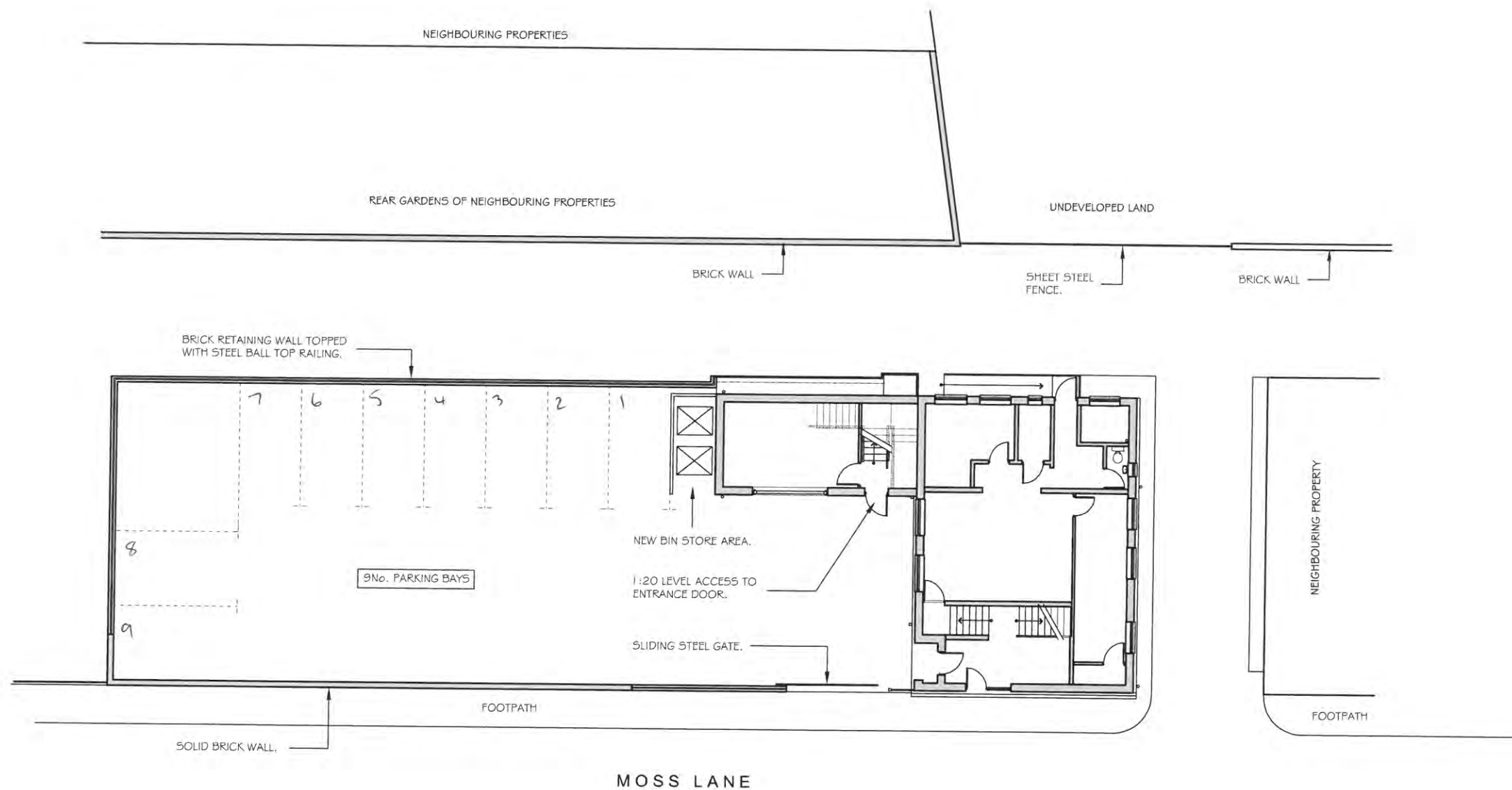


PROPOSED REAR ELEVATION @ 1:100 SCALE

No:	Revision:	Date:	Initial:

ALPHA DESIGN			
11 GILDA CRESCENT ROAD ECCLES M30 9AG			
TELEPHONE 041 707 1533			

Project:	Aarhus 4 Moss Lane Whitefield-Bury		
Title:	floor layouts and elevations (proposed)		
Scale:	Date:	Initial:	
Dr. No:	2		



NOTES:

THE CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING.

DO NOT SCALE FROM THIS DRAWING.

REV B: BIN STORE AREA ADDED. - OCTOBER 2010

REV A: LINE OF NEIGHBOURING PROPERTIES ADDED. - OCTOBER 2010

CLIENT:
AARHUS FIRE PROTECTION LTD

PROJECT:
OFFICE EXTENSION

DRAWING:
PROPOSED SITE PLAN

SCALE:	1:200 @ A3
DATE:	OCTOBER 2010
DRAWING No:	AARHUS - 05B

CAMERONS (BMS) LTD

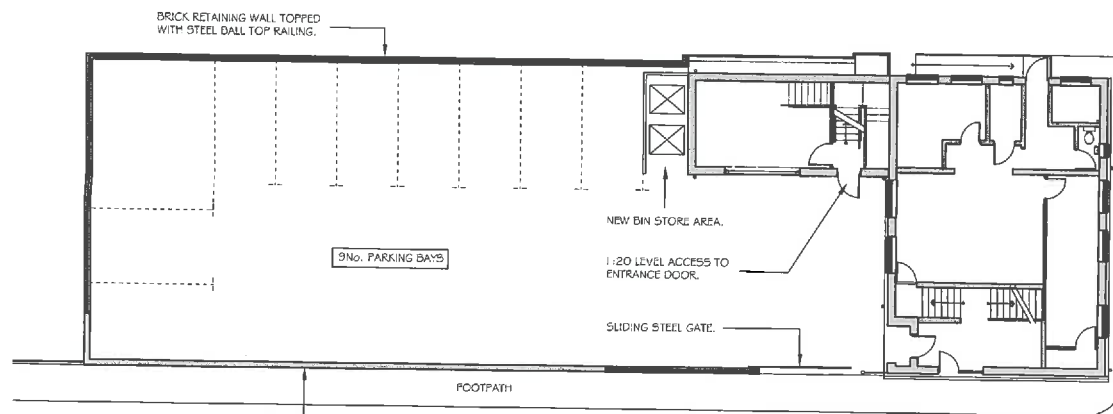
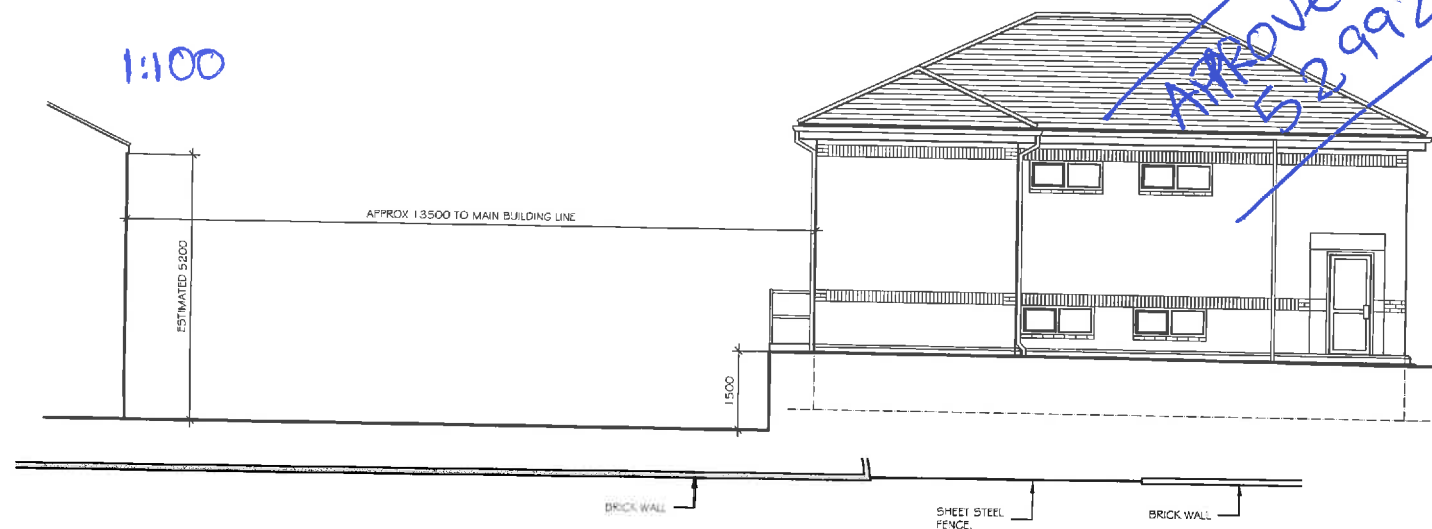
Croft Mill
Furness Avenue
Whitefield
Manchester
M45 6DT

t: +44 (0)7774 633840
e: Eddie@cameronsbms.co.uk

NOTES:

THE CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING WORKS.

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MOSS LANE

1:200

REVISION A: DIMENSIONS ADDED. - OCTOBER 2010

CLIENT:
AARHUS FIRE PROTECTION LTD

PROJECT:
OFFICE EXTENSION

DRAWING:
SITE SECTION

SCALE: 1:100 @ A3

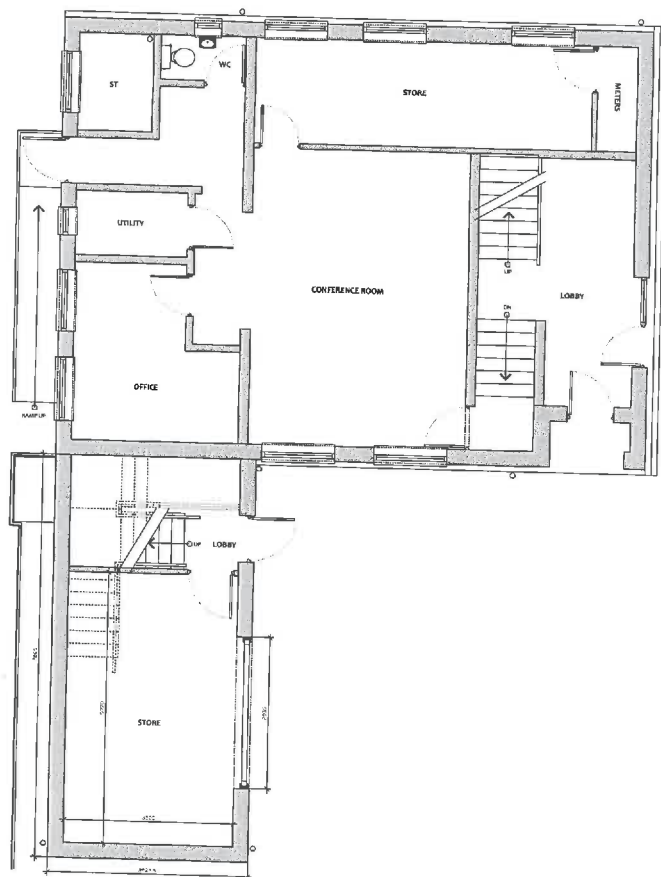
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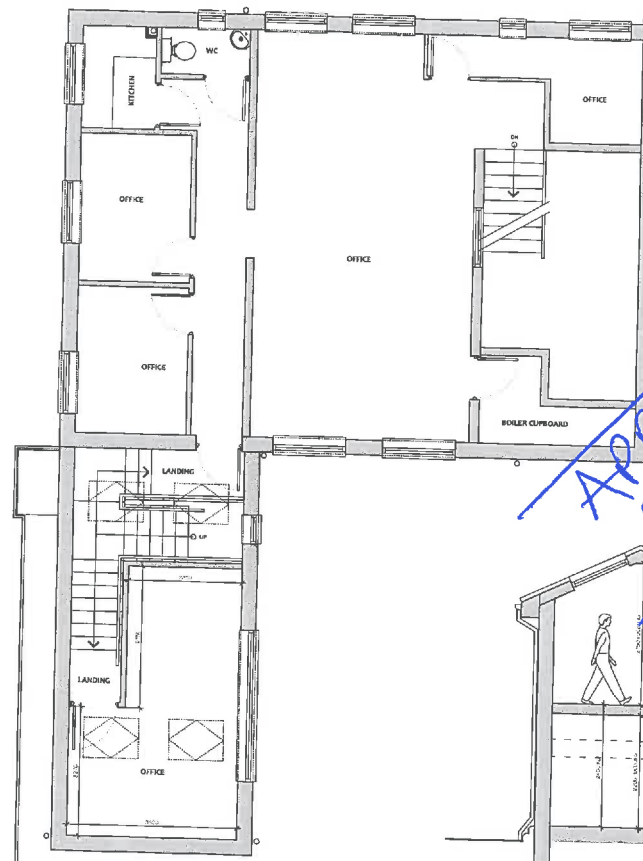
CAMERONS (BMS) LTD

Croft Mill
Furness Avenue
Whitefield
Manchester
M45 8DT

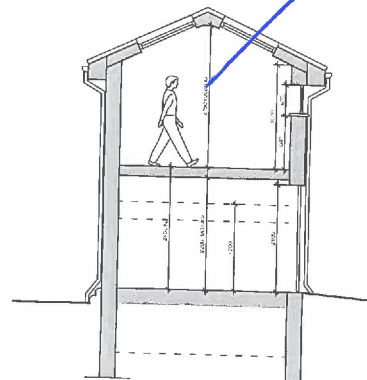
t: +44 (0)7774 633840
e: Eddie@cameronsbms.co.uk



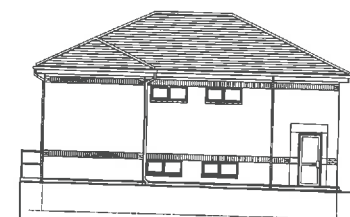
PROPOSED GROUND FLOOR PLAN @ 1:150 SCALE



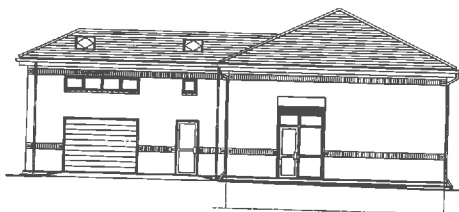
PROPOSED FIRST FLOOR PLAN @ 1:150 SCALE



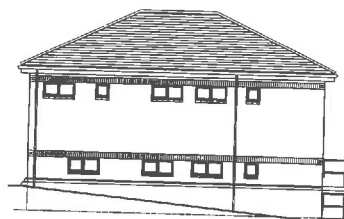
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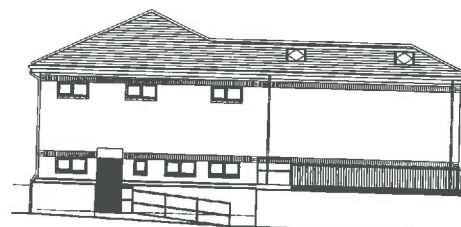
PROPOSED SIDE ELEVATION ONE @ 1:100 SCALE



PROPOSED FRONT ELEVATION @ 1:100 SCALE



PROPOSED SIDE ELEVATION TWO @ 1:100 SCALE



PROPOSED REAR ELEVATION @ 1:100 SCALE

NOTES:

THE CONTRACTOR IS TO CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING.

DO NOT SCALE FROM THIS DRAWING.

APPROVED
52992

CLIENT:
AARHUS FIRE PROTECTION LTD
PROJECT:
OFFICE EXTENSION
DRAWING:
PROPOSED PLANS

SCALE:	VARIABLE @ A1
DATE:	JUNE 2010
DRAWING No:	AARHUS - 02 Revision A

CAMERONS (BMS) LTD

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Ward: Whitefield + Unsworth - Besses

Item 08

Applicant: UAP Tradelocks

Location: Unit 1, Block 5, Albert Close, Whitefield, Manchester, M45 8EH

Proposal: First floor office extension

Application Ref: 60173/Full

Target Date: 09/08/2016

Recommendation: Approve with Conditions

Description

The application relates to an established warehouse/office unit located on Albert Close trading estate. The site is located to the north east of the established industrial estate, and is accessed via Albert Close. The site is enclosed by paladin mesh fencing with two vehicular gated openings in the north and western sides, with pedestrian access via a gate in the northern boundary.

Residential properties are located to the north of the site, with a four storey block of flats and a row of houses (No. 1 - 7 Naden Walk) whose rear elevations and gardens face the site. The proposal site is separated from these properties by fences along the rear boundary and a highway. To the east of the site are houses on Waterdale Drive.

Planning permission is sought for the construction of 144 square foot of additional first floor office accommodation over the existing office space located to the front of the building. The external elevations would be finished in facing brick work and blue metal cladding to match the existing unit, with the roof also finished with blue metal cladding. A fire escape door and associated stairs are also proposed to the north east facing side elevation.

Relevant Planning History

36780 - Security fencing and improvements - Approve with Conditions 18/07/2000

44266 - Lawful Development Certificate for existing use of buildings for vehicular repair work shop including paint spray booths and paint mixing room - Lawful Development 27/05/2005

53478 - Single storey extension at side; first floor extension at front - Refused 10/01/2011

53705 - Extension at side and rear - Approve with Conditions 20/04/2011

54584 - New entrance door and window openings to the existing side (North) elevation, external roller shutter. - Approve with Conditions 21/12/2011

54621 - Retrospective change of use of existing kitchen to general food sales (Use Class A5); Extractor unit to side elevation; External seating area; Proposed installation of solar panels to roof. - Approve with Conditions 22/02/2012

55145 - Application for variation of conditions 2, 5 & 6 following grant of planning permission
53705 - Change to front elevation; Change to material on the side and rear elevation; Change to gates and carparking; Increase in eaves height and change to roof configuration and new emergency exit. - Approve with Conditions 11/06/2012

60174 - Erection of security gates -

Publicity

49 letters sent to the neighbouring residential and commercial properties. 3 Objections received from the residents from No. 1, 9 and 7 Naden Walk with concerns regarding:

- loss of light
- loss of privacy
- noise, traffic, dust created during construction period
- increased traffic
- overlooking caused by the fire escape stairs

1 objection from No. 18 Waterdale Drive with concerns regarding:

- the height of the proposed extension and the impact on their garden
- impact on privacy

One comment in favour of the application received from 14 Bowland Close stating that:

- The extension will not cause privacy issues, the extension is on the front with no windows or doors to the side
- The extension is no higher than the existing roof so will not cause issues regarding light
- The extension will not impact on the properties to the rear - they will not be able to see it

Consultations

None

Unitary Development Plan and Policies

EC3/1	Measures to Improve Industrial Areas
EC4/1	Small Businesses
EC6/1	New Business, Industrial and Commercial
EN1/2	Townscape and Built Design
HT2/4	Car Parking and New Development
SPD11	Parking Standards in Bury
SPD6	Supplementary Planning Document 6: Alterations & Extensions

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Policies

EC3/1 - Measures to Improve Industrial Areas states that the Council will seek to improve the condition and appearance of buildings, improve access, servicing and parking and promote good standards of design to generally improve the appearance of the area.

EC4/1 - Small Businesses considers that proposals for small businesses will be acceptable when the scale of development is appropriate to and the use is compatible with the surrounding area.

EC6/1 - Assessing New Business, Industrial and Commercial Development assesses proposals with regards to scale, size, density, layout, access and parking, impact on neighbours and safety of employees and visitors.

EN1/2 - Townscape and Built Design seeks a high standards of design for proposals and takes into consideration access, parking and servicing provision.

Design and Layout

The proposed first floor extension is located directly above the existing offices at the front of

the unit and would not increase the footprint of the building. The proposed extension is simple in design with the use of metal cladding to the first floor and facing brick work replicating the materials used in the existing and neighbouring buildings within the industrial estate. The proposed extension is of an appropriate scale when viewed in connection with the existing building and street scene.

As such, the proposed extension is considered to be acceptable and complies with UDP Policies EN1/2 and EC3/1.

Parking and Access

Access into and out of the site would remain as existing. There is an existing main car park to the front of the industrial unit and additional spaces at the side accessed from Albert Close, which are for employees and visitors to the industrial unit with a total of 29 spaces, are shown on the submitted car parking plan.

Based on the use of the building as an office and warehouse/storage, Development Control Policy Guidance Note 11 requires a maximum standard of 1 space per 35 sq m and 1 space per 100 sq m respectively. On this basis, a maximum of 17 parking spaces would be required. The proposed layout plan demonstrates there would be 29 parking spaces retained as existing within the site and therefore parking would not create any external issues.

As such, the proposal is acceptable in terms of Council's Parking Standards and is considered to comply with UDP Policy EC3/1 and HT2/4.

Residential Amenity

There are no adopted aspect standards between residential and commercial. However, SPD 6 provides guidance on aspect standards between residential properties and as such, would be a reasonable guide in this case. SPD 6 requires a minimum distance of 13 metres between a ground floor habitable room window and a two storey elevation in order to prevent an overbearing relationship. The side elevation of the proposed extension is located a minimum of 17 metres from the rear elevation of the properties on Naden Walk and as such exceeds the 13 metres required by SPD 6. In this instance it is considered that the proposal would not lead to an overbearing relationship of detrimental loss of light to the properties on Naden Walk.

There is a proposed fire escape door located on the north east facing elevation, facing towards the residential properties on Naden Walk. This door leads to a corridor and not an office space or room that may be occupied for large portions of the day. The proposed door is also located approximately 10 metres from the directly facing boundary with the dwellings on Naden Walk, which exceeds the 7 metres required by SPD 6 for first floor habitable room windows. Concerns however have been raised with regards of the potential to overlook the rear gardens and windows of the dwellings on Naden Walk from the top of the staircase, and as such a condition will be attached requiring a 1.8 metre screen to prevent this area from being used as a viewing platform and to protect the privacy of the residential occupants.

The office windows to the front of the proposed extension do not directly face any habitable rooms any residential properties. In this instance it is considered that the proposal would not lead to a detrimental loss of privacy for the wider street scene.

The proposed extension is located approximately 25 metres from the rear boundary of the dwellings on Waterdale Drive, with the side elevation of No. 16 being the closest dwelling at 35 metres away. In this instance the aspect standards far exceed those required by SPD 6 and as such it is considered that the proposal would not impact on the residential amenity of these properties.

Objections

It is considered that the objections regarding residential amenity have been addressed in

the report above.

Noise, traffic, dust created during construction period are non-material planning considerations, and are considered by the Environmental Pollution Act. As such they are not material planning issues to consider.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

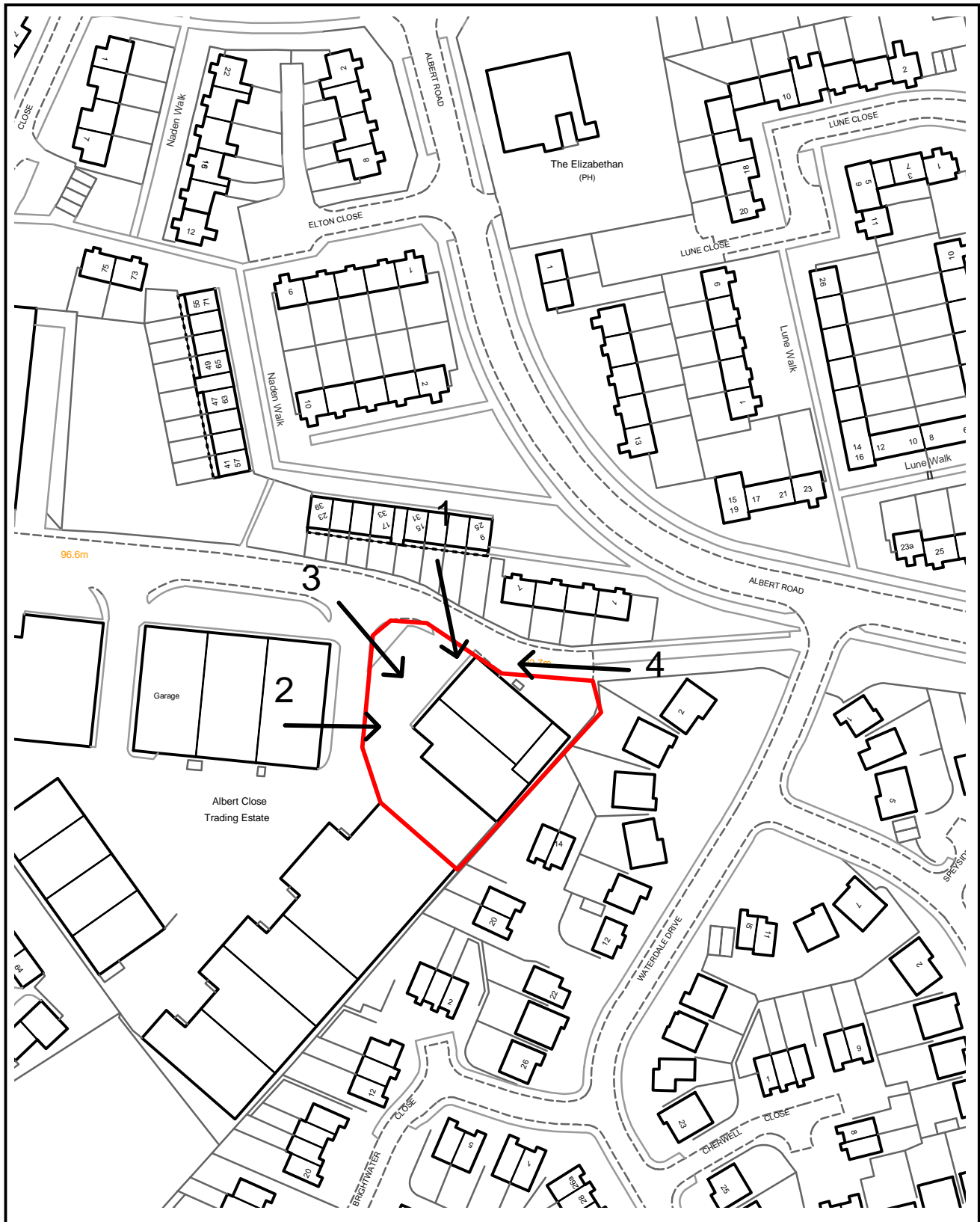
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered 1445/02 and 1448/03 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Before the first occupation of the extension hereby permitted an obscure screen, the details of which shall be approved by the Local Planning Authority, shall be fitted along the side of the fire escape stairs along its northerly elevation and shall be permanently retained in that condition thereafter. Details of the screen shall be submitted to and approved by the Local Planning Authority before it is erected.
Reason. To protect the privacy of adjoining occupiers and to accord with Policy H2/3 - Extensions and Alterations of the Bury Unitary Development Plan and Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties.

For further information on the application please contact **Helen Goldsbrough** on **0161 253 5277**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60173

**ADDRESS: Unit 1, Block 5
Albert Close Trading Estate**

**Albert Close
Planning, Environmental and Regulatory Services**

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Bury
COUNCIL

60173

Photo 1



Photo 2

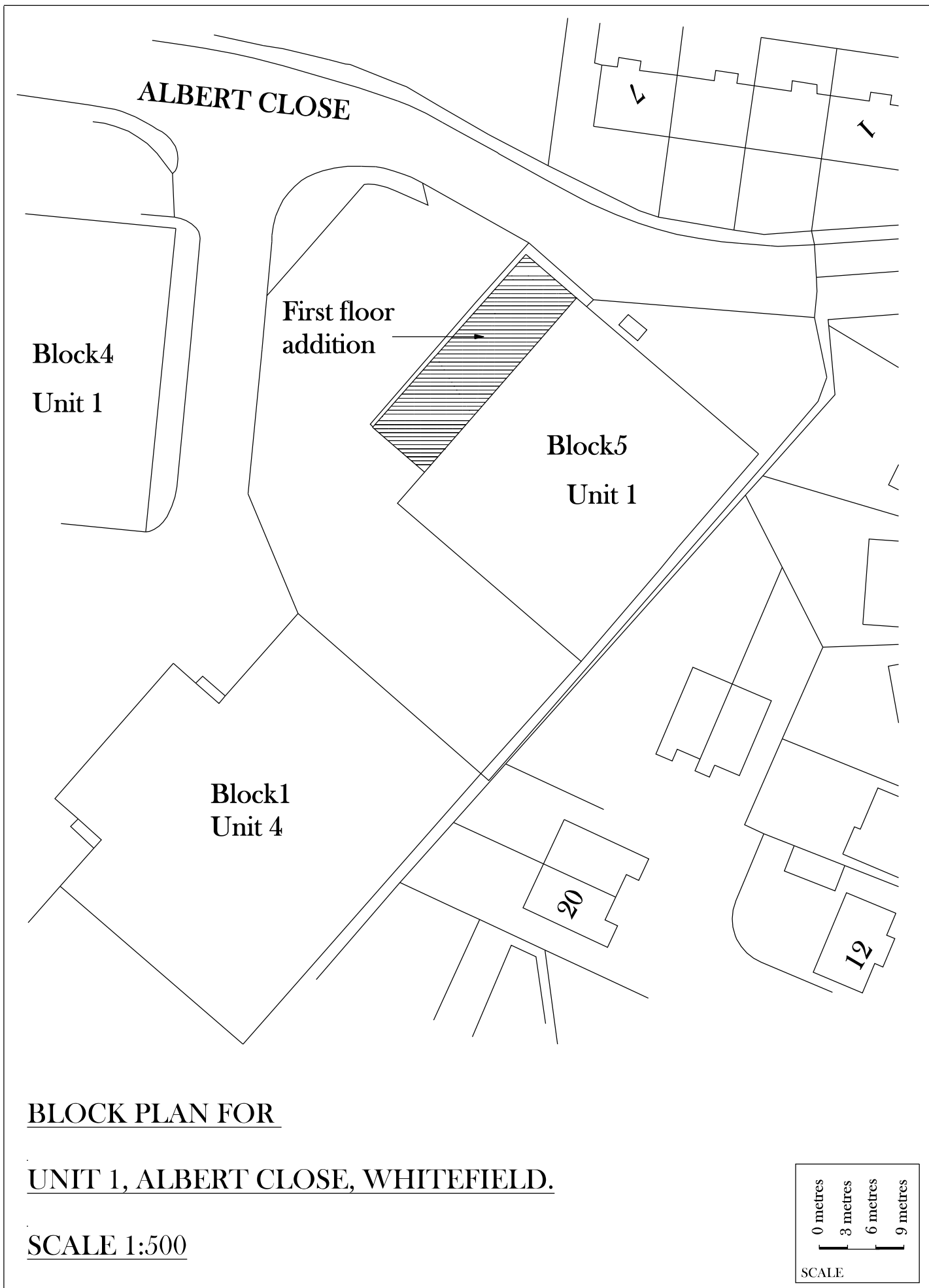


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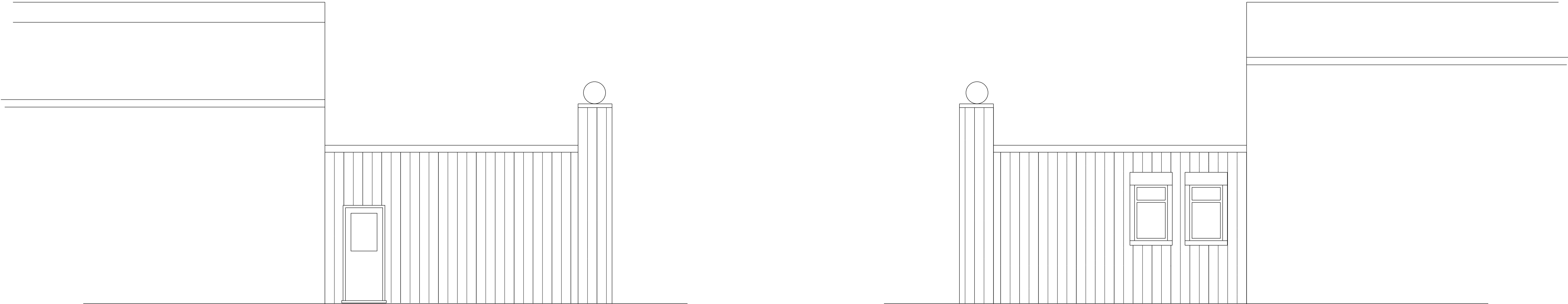
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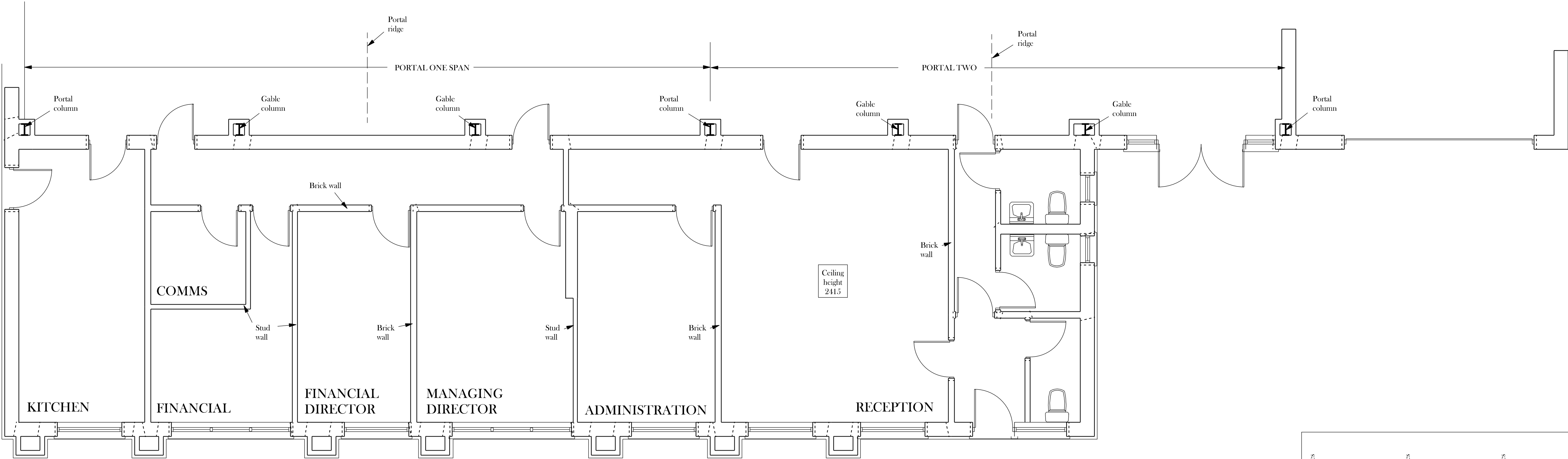


EXISTING NORTH WEST FACING FRONT ELEVATION



EXISTING NORTH EAST FACING SIDE ELEVATION

EXISTING SOUTH WEST FACING SIDE ELEVATION



EXISTING GROUND FLOOR PLAN

BRADLEY BUILDING DESIGN LTD.
34, OAK DRIVE,
BRAMHALL,
STOCKPORT,
CHESHIRE.
SK7 2AD.
0161 439 0087
Mob 07989 326039
bradleybuildingdesign@btopenworld.com

EXISTING BUILDING
FIRST FLOOR OFFICE ADDITION

for
UAP TRADELOCKS LTD,
at

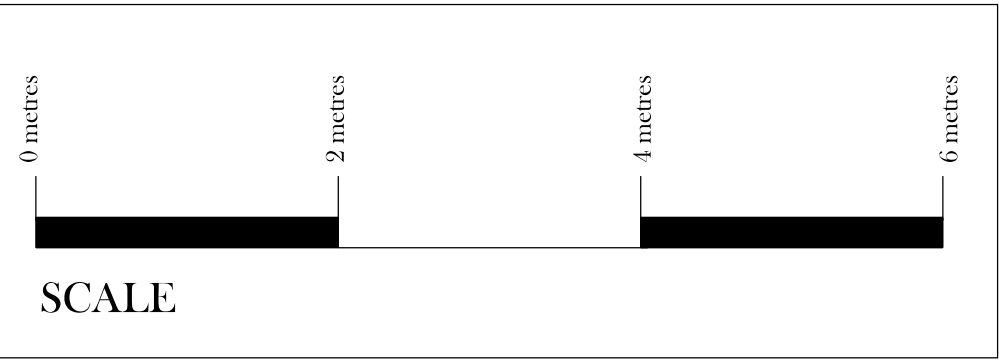
UNIT 1, ALBERT CLOSE,
WHITEFIELD,

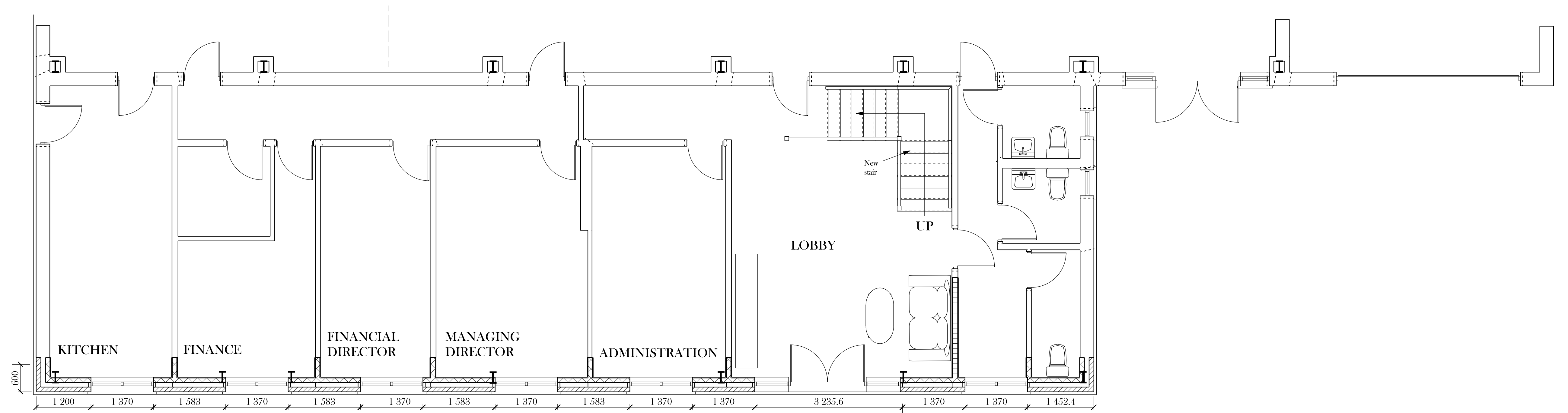
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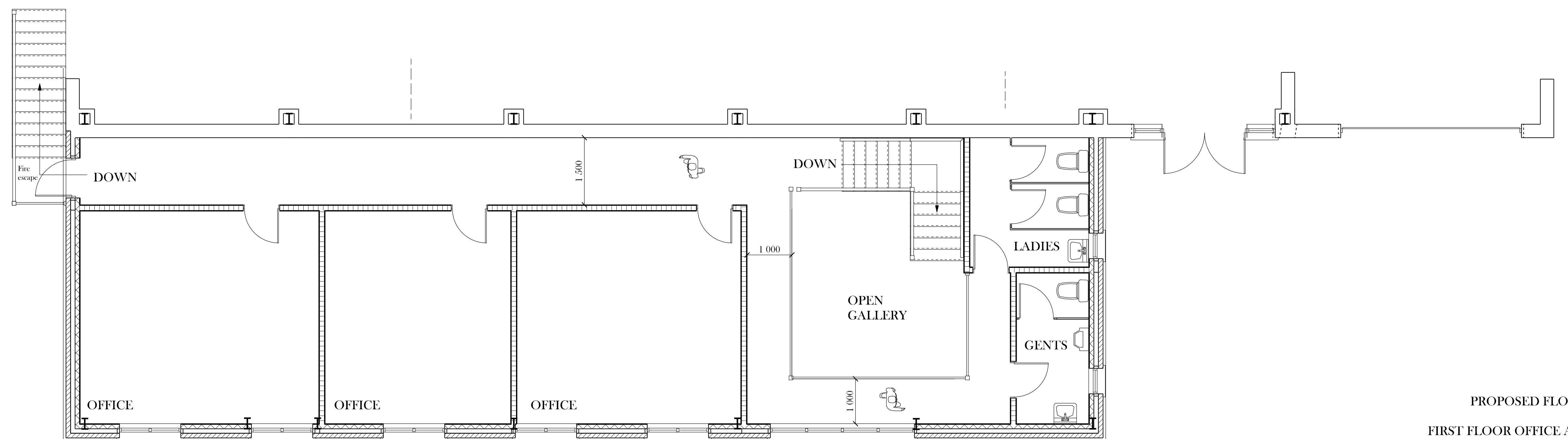
Date MAY 2016

Drawing Number 1448/1/A

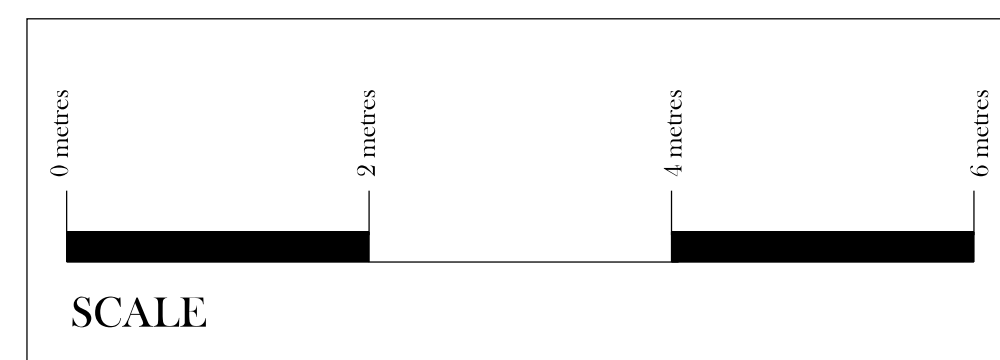




PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED FLOOR PLANS
FIRST FLOOR OFFICE ADDITION

for
UAP TRADELOCKS LTD,
at
UNIT 1, ALBERT CLOSE,
WHITEFIELD,
M45 8EH.

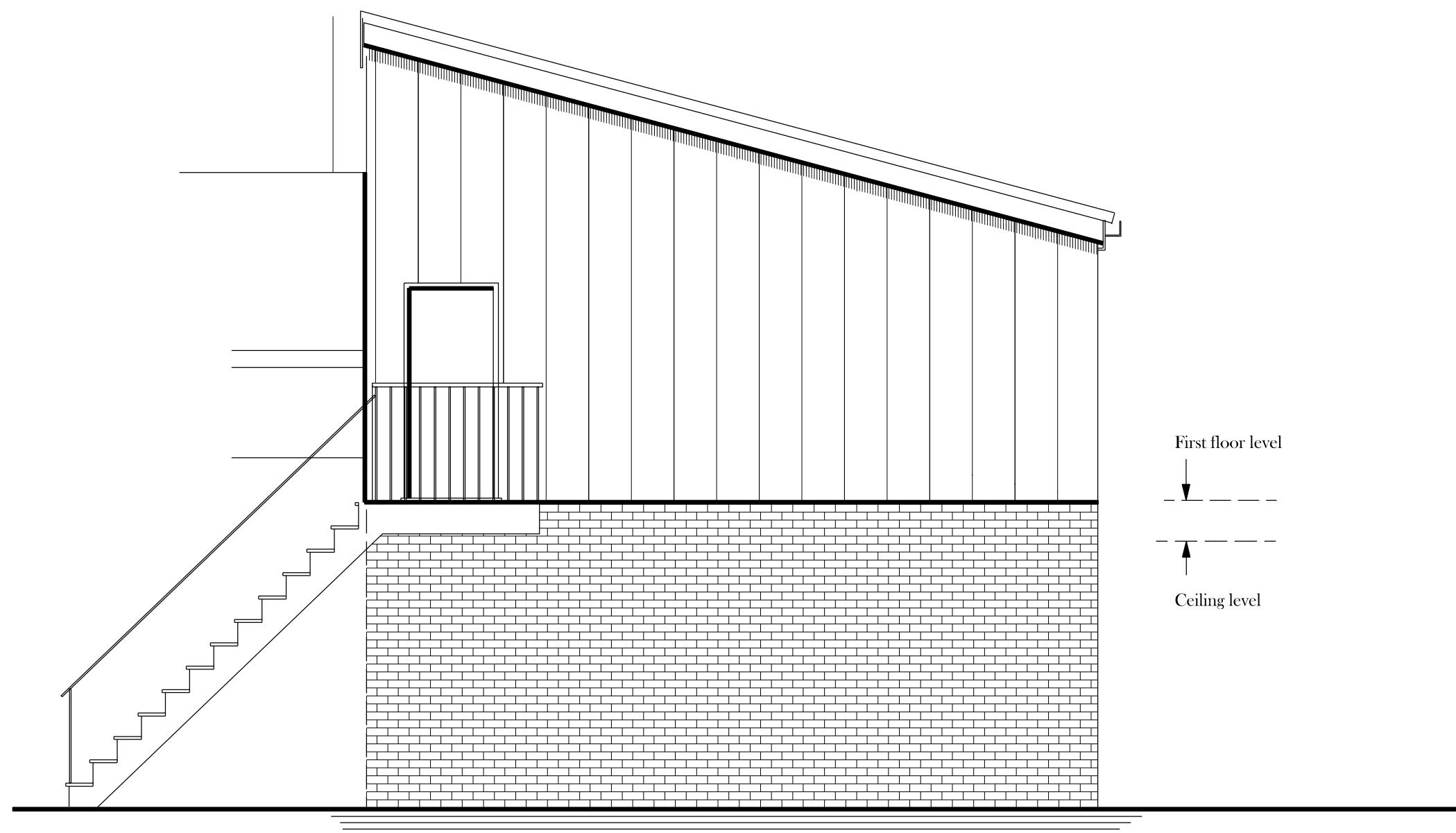
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Date MAY 2016

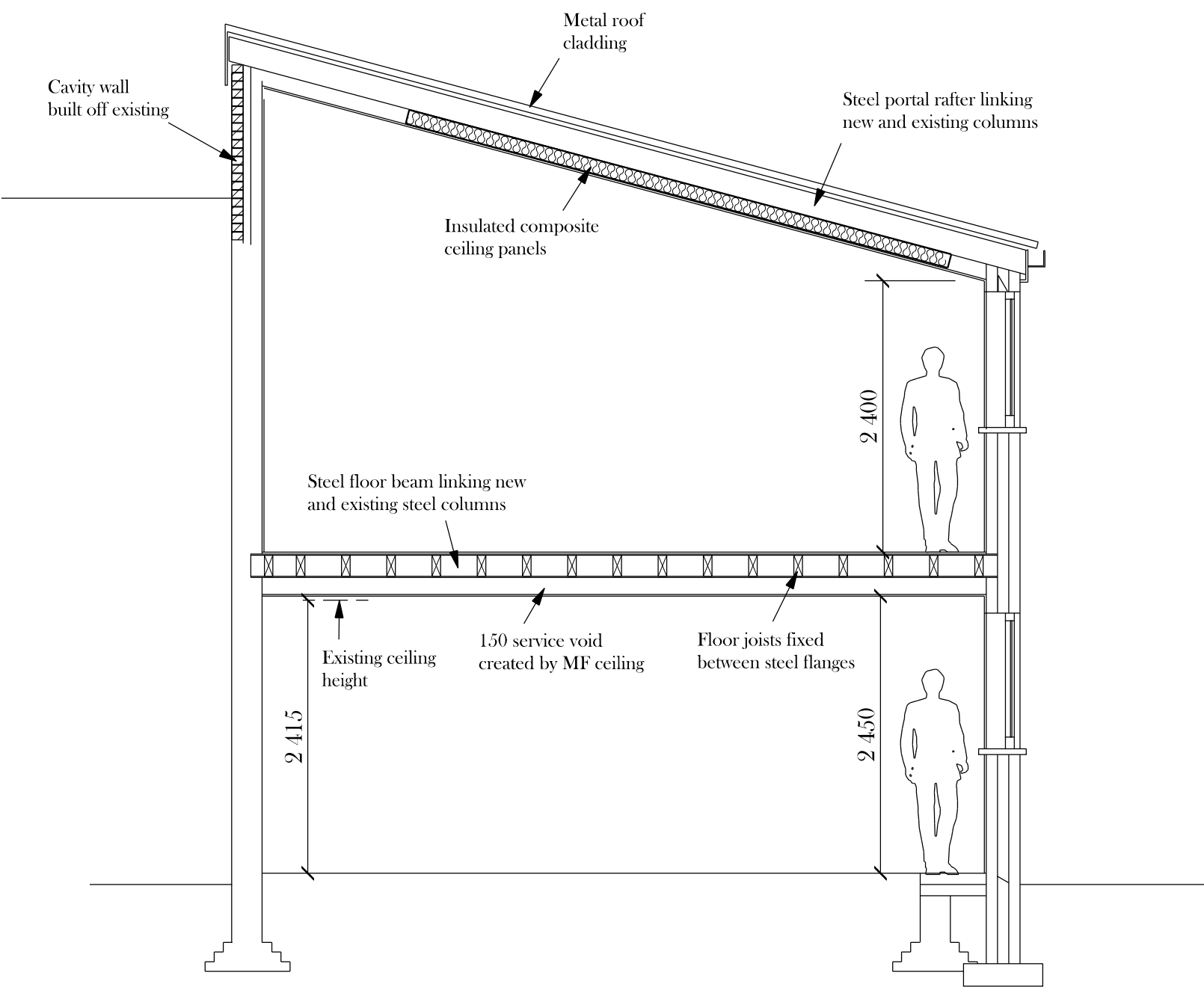
Drawing Number 1448/3



PROPOSED NORTH WEST FACING FRONT ELEVATION



PROPOSED NORTH EAST FACING SIDE ELEVATION



SECTION A - A

PROPOSED ELEVATIONS & CROSS SECTION
FIRST FLOOR OFFICE ADDITION

for

UAP TRADELOCKS LTD,

at

UNIT 1, ALBERT CLOSE,

WHITEFIELD,

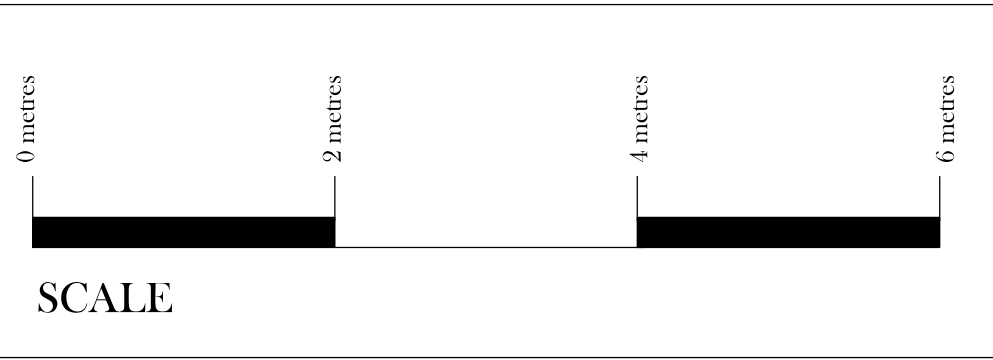
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Date MAY 2016

Drawing Number 1448/2

BRADLEY BUILDING DESIGN LTD.
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bradleybuildingdesign@btopenworld.com



Ward: Radcliffe - North

Item 09

Applicant: Radcliffe Borough Football Club

Location: Radcliffe Borough Associated Football Club, Colshaw Close East, Radcliffe, Manchester, M26 3PE

Proposal: Erection of cladded steel framed structure over east terrace (lower goal)

Application Ref: 60206/Full

Target Date: 04/08/2016

Recommendation: Approve with Conditions

Description

The application relates to the established football club within a predominantly residential area of Radcliffe. There are houses immediately to the north and east with open public space to the south and west. There is a covered stand behind the western end of the ground.

The proposed structure would cover the concrete steps forming the stand behind the goal at the eastern end of the ground. It would be 18m long and 2.5m deep with a height of 4m at the front. The roof, back and sides would be clad in polyester coated steel profiled sheeting in a dove grey colour. The structure would leave a buffer of 8m to the rear garden boundaries with properties fronting Pilkington Road. The area is made up of rough grass and shrubs.

Relevant Planning History

47665 - Single storey side extension - Approved 16/03/2007

52713 - Construction turnstiles and ticket offices; Single storey extension to form refreshment bar and single storey extension to form toilet block - Approved 28/07/2010

58661 - Construction turnstiles and ticket offices; Single storey extension to form refreshment bar and single storey extension to form toilet block - Approved 25/06/2015

Publicity

The following 33 neighbours were notified by letter dated 09/06/16. 1 - 15(odd) Stainton Close, 1 - 7(odd) Stainton Road, 17 - 39(odd) Pilkington Road, 1 - 4 Colshaw Close East.

Objections have been received from 3 residents at 25 and 39A Pilkington Road and 3 Stainton Road, although the resident at 25 Pilkington Road has mentioned there are objections from Nos. 39, 39b, 37, 31, 27, 25, 23, 21, 19 and 17 Pilkington Rd, 2, and 4 Colshaw Close East, no 1, 5 and 7 Stanton Rd are all unhappy with this (decision) proposal. Concerns are summarised below:

- There is insufficient information on the exact location and size of the structure on the plans submitted.
- The structure will significantly overlook my property (3 Stainton Road).
- Support can be unsociable and unruly and parking as it stands inadequate for the bigger matches, resulting in parking in residential areas particularly our road(Stainton Road) and increased spectators will add to this hazard.
- Increased noise.
- Further development of the football club at this site is a bad idea. It's in the heart of a residential area - the infrastructure around the ground cannot cope on match days. Increasing the ground's capacity is only going to make this problem worse.
- Numbers of parked cars and noise have steadily worsened over the years. The club needs to concentrate on solving the problem of parking, as fans seem to park in the

surrounding area blocking the roads and access for residents and emergency services.

- If the club wishes to invest in its future, a better solution would be to relocate the ground - perhaps near to the site that was proposed for the ill-fated Radcliffe Riverside High School. There is room to expand the ground if the need arises here and space for a larger car park. Not only that, it could act to spur regeneration in this area.
- This football club does not have a big enough support base to warrant an eyesore and a large drum. There is a stand at the west end of the ground which is under used, but on match days the whole area knows its there when the fans use it as a drum.
- As a structure it will over shadow the houses and rear gardens and destroy the vista of the area.
- They play loud music and bingo etc, over the pa system, and block all the roads around here, without the addition of an east end stand in very close proximity to the rear of houses on the east and west side of the road, and frontal areas on the west side of the road. Are any of the key figures in this silly idea resident of this location? I think not, we all like football in general terms, but not as noisy and inconsiderate close proximity pests. A 40 foot high fence all round with good acoustic retention would be money better spent for this residential area.
- Nos 39, 39a, 39b, 37, 31, 27, 25, 23, 21, 19 and 17 Pilkington Rd, nos 2, and 4 Colshaw Close, nos 1, 3, 5 and 7 Stanton Rd are all unhappy with the proposal. All these residents have more pressing concerns such as damage to property, parking, trespass and so on. As this land is owned by the Council, we hope you will listen to us the residents, unlike a few years ago when we had concerns with the music festival, we were totally ignored.

The objectors have been notified of the Planning Control Committee meeting.

Consultations

None relevant.

Unitary Development Plan and Policies

RT1/1	Protection of Recreation Provision in the Urban Area
RT1/2	Improvement of Recreation Facilities
EN1/2	Townscape and Built Design
EN7/2	Noise Pollution
NPPF	National Planning Policy Framework

Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

Need - The existing open terraced stand at the eastern end of the ground does not provide covered protection from the weather. As a consequence the Football League have requested that the club provide some cover for fans to meet their minimum standards. This application is part of an ongoing scheme to upgrade the ground and bring it up to the standards required by the league. It is proposed to enclose the existing stand rather than provide a new one.

Visual amenity - The proposed structure at 4m high with a depth of 2.5m, situated behind the goal and set back into the site, would be relatively modest in scale and, coloured a light/mid grey, not appear incongruous within the site. As the football ground is relatively open, the proposed structure would be viewed from surrounding houses. The most prominent views would be from houses directly behind the goal at the eastern end of the ground. These are approximately 20m away and separated by a piece of rough ground and

a 2m high concrete panelled fence.

Given the separation distance and the scale of the structure, the proposal is considered acceptable and complies with UDP Policy EN1/2 Townscape and Built Design.

Residential amenity - The proposed cover over the existing terrace is likely to reduce noise and disturbance to the immediate neighbours on Pilkington Road. Fans would be screened from the nearest houses and overlooking from the terraced area would also be reduced and the structure would help prevent footballs being kicked into the private garden areas to some degree. A concern has been expressed by one of the objectors that the sides/back panels of the enclosed stand would be hit by supporters and would act like a drum and increase noise. This could happen but it could also be prevented by appropriate stewarding at the ground. In any case, whatever noise is generated by the fans, either by chanting or otherwise, would only happen for the duration of the game. It is noted that there has not been any serious noise complaints about the football club to the Council in the last couple of years. On balance, the proposal is considered to be acceptable and complies with UDP Policy EN7/2 Noise Pollution.

Objection - The planning concerns raised by the objector have been addressed in the above report. The proposed structure is purely a cover over an existing stand and would not increase the capacity of the football ground. Other issues raised by objectors, such as noise/music from the tannoy, parking, damage to property and trespassing cannot be dealt with by this application.

Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraphs 186-187 of the National Planning Policy Framework.

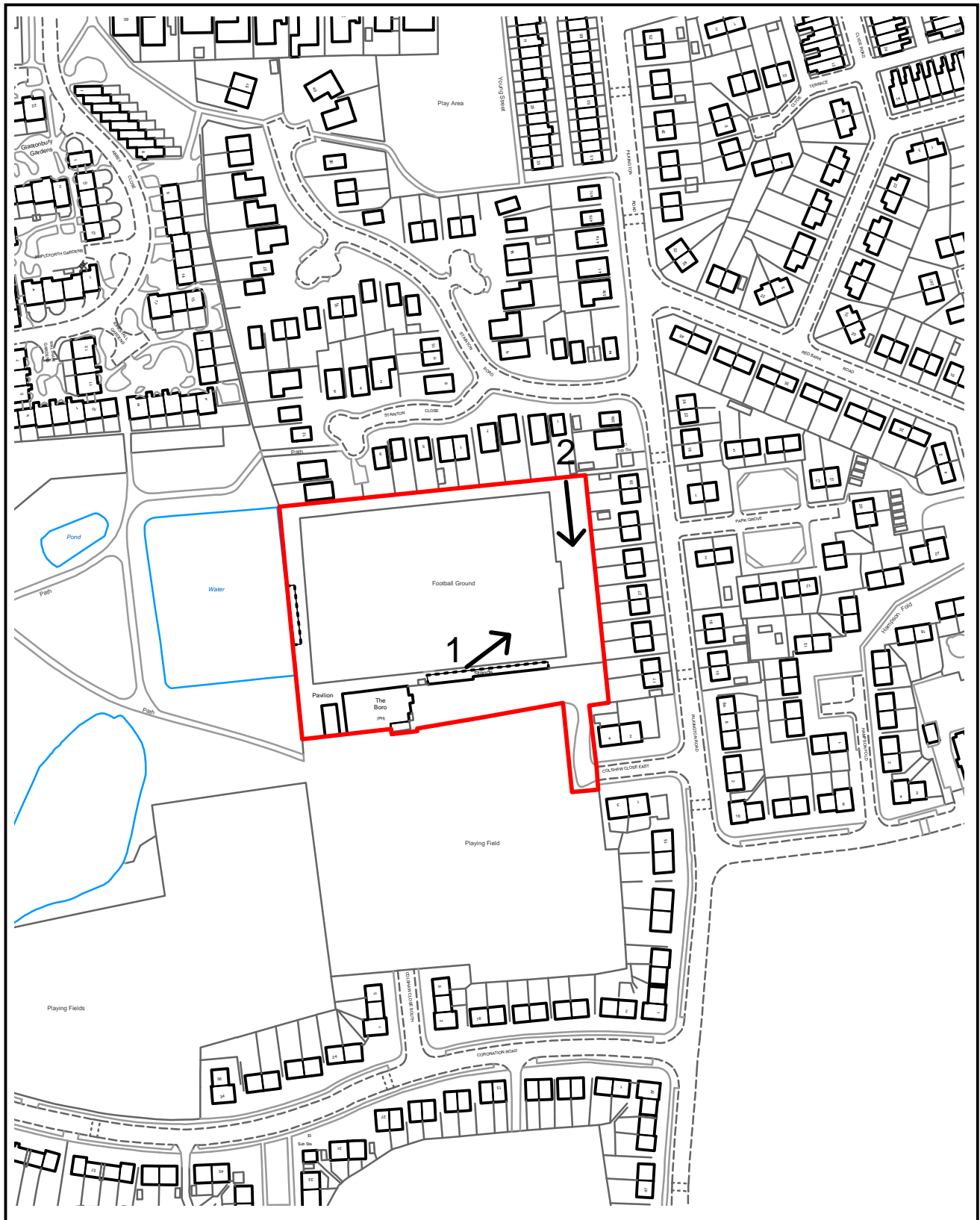
Recommendation: Approve with Conditions

Conditions/ Reasons

1. The development must be begun not later than three years beginning with the date of this permission.
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to Location Plan, Site Plan dated 22/06/16, Sheet 1 and 2 dated 27/04/16 and the development shall not be carried out except in accordance with the drawings hereby approved.
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The cladding shall be coloured 'Dove Grey'.
Reason. In the interest of visual amenity pursuant to UDP Policy EN1/2 Townscape and Built Design.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

Viewpoints



PLANNING APPLICATION LOCATION PLAN

APP. NO 60206

ADDRESS: Radcliffe Borough FC
Colshaw Close East
Radcliffe

Planning, Environmental and Regulatory Services



Bury
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60206

Photo 1



Photo 2



- 60206 -



SCALE: 1:400 DATE: 22/06/2016

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Bury
COUNCIL

SCALE 1:500.

RBFC - POSITION OF EXISTING TERRACING
LOCATION TO EXISTING BOUNDARIES.

